



LOCAL DEVELOPMENT PLAN

JINDEE, WESTERN AUSTRALIA

NOVEMBER 2023



DOCUMENT CONTROL - MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

MODIFICATION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0	NOVEMBER 2023	ILP - FINAL ENDORSEMENT



		IVE PROVISIONS Provisions detail the development of the public realm, and provide the framework for the approval of the detailed design, including	8. Private
		ndscape Masterplan, required as conditions of subdivision approval.	Frontage and Elevation
andscape and es	a) b)	Street Trees Tree Species and Spacings for Thoroughfares and Civic Spaces are detailed in Table 1, below. Minor adjustments to spacings may occur at detailed landscape stage and/or through detailed Engineering Plans to cater to final lighting, utility locations and alignments. Groundcover	Requirements
	c)	Groundcover and shrubs will be used in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus. Laneway Planting	9. Garaging,
arking	a)	Final location of planting in laneway is dependent on location of crossovers. On Street Parking	Parking, and Vehicle Access
	b)	On street parking is provided and located as indicated on the adjacent plan. Laneway parking and access Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws.	
		Parking of vehicles is prohibited within a Lane.	
itreet Lighting		eet lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering ins, required as a condition of subdivision.	
ot Truncations	Cc	nsistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved.	
Detailed Design Civic Spaces		nal design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape sign stage.	
defuse Collection	Ar Op	a area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm - perative Provision No.13. In regard to refuse vehicle access, given collection is primarily from rear laneways, the requirement for an sement or legal agreement for a temporary turnaround facility is not required.	
aving Materials	Fir	nal allocation of paving types and materials will be determined at detailed landscape and engineering stage.	10. Fencing and Walling
 Kerbing Type	All	kerbing is barrier or flush kerbing unless otherwise specified.	waiiing
			11. Privacy
		ATIVE PROVISIONS	Requirements
ie Private Realm - (Operative	referred to in this LDP is to comply with the requirements of Local Development Plan Number 10.0 ("LDP 10.0"). Provisions of LDP 10.0, in conjunction with the Individual Lot Plan ("ILP") for each Lot, set out the standards and controls (both	
r the avoidance of efinitions for terms	doubt,"	bonding text provisions) that must be met in developing any Lot contained within the LDP 10.0 area. ILP" is a reference of convenience only and each and every ILP forms part of this LDP 10.0. this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP").	12. Specific
port"). Jindee, a consent	process	applies that is subject to the requirements and procedures set out in the Jindee Design Code (Agreed Structure Plan No 84) and in LDP	Design Requirement
	olication	tess requires: for any proposed Development be made to the Jindee Town Architects Office ('JTAO') to assess the proposed Development for eLDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as	13. Refuse storage
required by o. Any ameno	the JTA(Iments re	D. equired to the proposed Development by the JTAO are to be resubmitted to the JTAO;	enclosures and collection
Owner/ Pui	rchaser n	s an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot nay make an application for a Building Permit to the City of Wanneroo.	
	ves and o	s (with reasons) an application for a proposed Development as non-conforming with this LDP but the application is consistent with design intent of the LDP, then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to ng Permit.	14. Design
	nconsiste	ency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.	Outcomes - Additional Requirements +
ite Works	a)	Maximum Lot Level Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in Item 1a of the relevant ILP.	Controls
	b)	Stormwater management Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of	
	c)	Wanneroo. Retaining Walls	
		i. Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall.	15. Landscaping
		ii. Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot.	+ Street Trees
		iii. All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing on or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo.	
	d)	Earthworks and Fill Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WD 6.07).	
Density of Dwellings)	a)	Limit on Number of Dwellings The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP.	
oor Dwellings)	b)	An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section. Apartment House Dwelling Units	16.
	c)	The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP. Ancillary Units The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP.	External Fixtures
 Dwelling	a)	Maximum Lot Coverage	17. Exemptions to
ntrols	b)	Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP. Building Type Only a Paid line of the Paid line Type agree with a distributed in Item 2b of the advantage of the description.	Planning Approval
	c)	Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot. Lot Type All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP.	
	d)	Building Disposition Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot.	
	e)	Terrace Groupings The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP.	
Plinth	a)	Requirement for a Plinth A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP.	18. No modification
	b)	Plinth constructed by Developer Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the	of Building elements provided by
	c)	Lot is stipulated in Item 4b. Plinth constructed by Lot Owner Where a Plinth has not been provided by the Developer and Item 4a of the ILP for the relevant Let requires a Plinth, then the Let	the Jindee Developer without Consent
	d)	Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c. Required building element to attach to Plinth	19.
	,	Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as	Termination of the Role of the JTAO
Building	a)	specified in Item 4d of the ILP for the relevant Lot. Limit on Storeys	<u> </u>
ights	a) b)	The maximum number of storeys permitted to be Built on the lot is specified in Item 5a of the relevant ILP. Maximum External Wall Height	
	c)	No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item 5b of the relevant ILP. Measurement of External Wall Height from Lot Datum	
		For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height of the Lot Datum, specified in Item 5c of the relevant ILP.	
	d)	Exceptions No Building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.	
etbacks and	a)	No Development in Setbacks	
ld-to-Lines	b)	Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback designation. Designation of Boundaries	
	IJ)	The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in the relevant ILP for the lot.	
	c)	Setback Lines The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP. Ruild, To Line (RTL)	
	d)	 a A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is mandated in Item 6f of the relevant ILP. 	
		 ii. The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP. iii. The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant 	1.1
		ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation. iv. For the purposes of assessing a building's compliance with the requirement in 6d)iii, the width of any Projecting Front is to be deemed to have been constructed on the BTL.	J
	e)	Parapet Walls If applicable, the requirement for parapet walls is prescribed in Item 6h of the relevant ILP.	$ \bigcap\bigcap I$
Permitted	a)	Permitted Encroachments into Setbacks	
emmueu		Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments.	ν I IKI I ℓ

All Dwellings must incorporate the required Private Frontage Type as designated in Item 8a of the relevant ILP. All Dwellings must incorporate one of the permitted Principal Elevation types designated for the lot in Item 8b of the relevant ILP. c) Secondary Elevations Secondary Elevations must provide active Frontages to all public spaces (POS, Thoroughfares, Passages and Paths). Design responses may include elevations that contain glazed openings from living areas, verandahs, or other projections. Servicing infrastructure must not be located along secondary elevations. a) Minimum Garaging Requirement Garaging must be provided on the lot for not less than the number of cars detailed in Item 9a of the relevant ILP. A carport may be acceptible for the garaging of cars, however, must be screened from the public realm in accordance with Clause 9e). b) Ancillary Unit Garaging Should an Ancillary Unit be constructed on the lot then the required additional garaging or parking provisions on the lot are designated in Item 9b of the relevant ILP. c) Restriction of Vehicle Access Vehicle access to a lot is restricted as graphically depicted on the LDP and ILP and as described in Item 9c of the relevant ILP. The Permitted Garage Disposition for a lot is designated in Item 9d of the relevant ILP. e) Screening of garages from public realm Screening must be provided so that the inside of garages and parking structures such as carports cannot be viewed from the public Crossover construction requirements are detailed in the Jindee Architectural Standards and must demonstrate compliance with the City of Wanneroo specifications for vehicle crossovers. Alternative geometries may be considered where adequate vehicle movement can be achieved. The inside of the garage and /or carport must be fully screened by a garage door from the adjacent public space (including a road, lane or access way) at all times except when access to and from the adjacent public space is required. a) Attached Walls and Sideyard Walls Attached Walls and/or Sideyard Walls are required to be built on the lot if mandated in Item 10a of the relevant ILP. b) Modifications to visually permeable fencing Where any visually permeable fencing has been built on a lot, it is prohibited to limit the visual permeability in any way, except by use of landscaping such as hedges. a) Development on a Lot must meet the following Privacy requirements: i. Openings, Terraces, Balconies and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to in Items 11a i-vi. of the relevant ILP. ii. Where Items 11a i-vi of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of an Adjoining Property to achieve privacy to these areas. a) Specific Design Requirement A Specific Design Requirement must be built of the type required where prescribed in Item 12a of the relevant ILP, and in the location graphically depicted on the corresponding plan. The requirement for the storage of bins is mandated in Item 13a of the relevant ILP. Permanent storage space for three bins (general waste and recycling) of the standard type used by the City of Wanneroo, must be provided on the Lot and these bins are to be screened from view from Public Spaces. An exception to this is the bin requirements for an Apartment House in which case the storage space for the number of bins required will be stipulated in Item 13a of the relevant ILP. b) Bin Collection Point The Lot Owner must use any area provided for Bin Collection as identified in Item 13b of the relevant ILP. In addition to complying with the requirements of this LDP, other controls for Development apply to the Lot, including but not limited to: Covenants on the title and contractual obligations with the Jindee Developer; Jindee Architectural Standards, administered by the Jindee JTAO; and other legislative controls such as the Dividing Fences Act. b) Architectural Standards The Jindee Architectural Standards require that all Development at Jindee is of a high standard and consistent with the vision for Jindee. Specific controls have been included in the Architectural Standards that are required to be complied with and include, but are not confined to, the following matters: Building Proportion, elevation requirements, external materials, and colours required openings (doors and windows), fencing and walling, and Encroachments and consent processes Buildings subject to this LDP are required to be designed to the proportions of the Golden Ratio and evidence of this must be demonstrated to the JTAO at the time of submitting plans for development with JTAO. The space around a Building is to be designed to accommodate landscaping. Landscaping of a Lot is to be undertaken with appropriate planting, paving and other landscaping elements to meet the needs of the resident(s), whilst enhancing the security of the street and Building, and contributing to the streetscape. Street trees, including those located in Lanes, are essential to the creation of a walkable and sustainable community. Lot Owners are responsible for ensuring that the street trees in the verge and rear lane areas are protected from damage as a result of activity on the c) Offence to remove or damage street streets It is an offence under Schedule 9.1 Clause 2 of the Local Government Act (Uniform Local Provisions Regulations 1996), to damage or remove any street tree and an offender will be prosecuted accordingly. The Lot Owner will take responsibility for any tree branches extending into the relevant lot. External Fixtures are to be integrated into the design of the Building and are not to be visibly obtrusive from an Adjoining Property or be visable from any public space with the exception of solar panels which are permitted to be visable from a public space provided that no hot water collection tank is visible. The following Development is exempt from the requirement to obtain planning approval from the City of Wanneroo, if the Development is consistent with the requirements of this LDP: i. Residential (Single Residential Dwelling) building types being House, Villa or Cottage; and ii. Residential alterations and additions that are located behind the Principal Building Elevation, including patios, pergolas, decks, 🗄 garages, Outbuildings, Ancillary Unit, stairs and swimming pools; and iii. Retaining walls including those over 3m in height as shown on the LDP. (refer pad and spot levels). b) Exemption does not constitute consent from JTAO Exemption to the requirement to obtain planning approval from the City of Wanneroo does not negate the requirement for a Lot Owner to obtain consent for all Development from the JTAO, consistent with the requirements of Jindee Agreed Local Structure Plan No 84 and Design Code, and Jindee LDP Part 1, prior to lodgement for Building Permit. No stairs, retaining walls, batters or fences or other Building elements provided by the Jindee Developer on the lot are to be removed or modified without the endorsement of the JTAO. Exceptions may be approved by the JTAO including where Buildings are sought to be constructed up to a Secondary Boundary. The endorsement of all Development by the JTAO pursuant to this section under this a LDP, will continue until at least 80% of the Lots within this LDP have been developed, and the Jindee Developer gives notice to the City of Wanneroo that it will no longer review development proposals pursuant to this LDP.





CAL DEVELOPMENT PLAN No. 10.0 IC AND PRIVATE REALM REQUIREMENTS

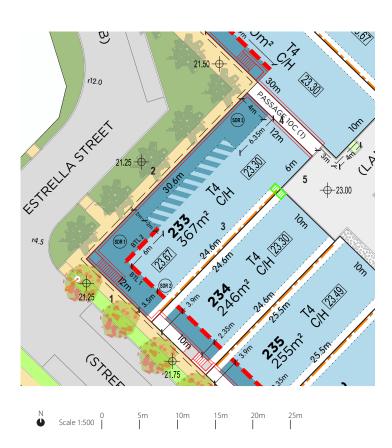
Unless stated otherwise, the standards and controls contained in the LDP are non-discretional and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorcement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.





LOT 233 Т4 **TRANSECT** Edge LOT TYPE AREA (APPROX M2) 367 LOT FRONTAGE 12m



Legend

Building Type

- Cottage Type
- House Type



Specific Design Requirements (refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

THE

Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

23.30 Datum and Pad Level (refer Operative Provision No. 5)

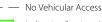
+23.00 Spot Levels

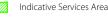
Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2





- Principal Boundary
- Secondary Boundary
- Side Boundary (South)
- Side Boundary (North)
- Rear Boundary

Proposed Light Pole Location

Lot 233 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 233. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah or a Terrace with a Pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.30/ 23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Access	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 7.0 metres measured from	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Secondary Setback Line	the Side Setback Line (South). Is parallel to and located 4.0 metres from the Secondary Boundary within the Lot for a distance of 27.1 metres measured from the Principal Setback Line.	b. c.	Additional garaging requirement for Ancillary Unit, if provided Lot boundaries where Vehicle Access is prohibited	Nil Principal Boundary, Secondary Boundary, Side Boundary (North and South).
C.	Side Setback Line (North)	Is parallel to and located on the Side Boundary (North) within the Lot.	d. 10.	Permitted Garage Disposition Attached Fencing and Sideyard Walling	Rear Direct , Rear Back Court.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.	a. 11.	Type required Privacy	Attached Fence
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.	a.	Privacy Restrictions on 1st floor and above i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil
e.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. BTL 1) is parallel to and located 3.5 metres from the Principal Boundary within the Lot, for a distance of 7.0 metres measured from the Side Setback Line (South). BTL 2) is parallel to and located 4.0 metres from the Secondary Boundary for a distance of 6.0 metres measured from		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
g.	BTL Percentage	the Principal Setback Line. BTL 1) 90% minimum and BTL 2) 100%		iv. Secondary Elevation v. Side Elevation (North)	Nil Nil
h.	Required Parapet Wall Location	N/A		vi. Side Elevation (South)	Restricted Outlook
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from			Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		time to time) and engineering tolerances and limitations of any retaining walls.			• is a Celestial Window; or
а.	Encroachments beyond Principal Setback				is Screened; oris fitted with Opaque Glass.
	i. Permitted Encroachments beyond	Verandahs, Pergola, Balconies, Eaves,	12.	Specific Design Requirement	is niced with opaque diass.
	the Principal Setback	Bay Windows, Portico to define the principal entrance, Plinths or Piers for the	a.	Is there a Specific Design Requirement	Yes - Three SDR's
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	Verandah, Steps, Towers, a Terminating Vista Element. 3.5 metres measured from the Principal Setback Line. Encroachment is permitted to extend over the entry stairs and bottom landing.		applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	SDR 1) A Projecting Front is mandated, being setback not more than 1.0m from the Secondary Boundary and 6.0 metres wide, with a required Gable End to the side of the Principal Elevation.
b.	Encroachments beyond Secondary Setback i. Permitted Encroachments beyond the Secondary Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the			SDR 2) A Gable End is mandated to the side of the Principal Elevation to the same width as SDR 1.
••••	ii. Extent to which Permitted	principal entrance, Plinths or Piers for the Verandah, Steps Towers and Projecting Fronts provided they comply with the Specific Design Requirements in this ILP including the required Gable Ends and being the same width. 4.0 metres measured from the Secondary			SDR 3) A Projecting Front with a Gable End is mandated, being setback not more than 1.0 metre from the Secondary Boundary and Side Boundary North. SDR 3 is required to mirror all elements of SDR 1 noted within this LDP including that the Gable End is the same width as the Gable End in SDR 1.
	Encroachments may encroach beyond the Secondary Setback	Setback Line. The building may encroach into the Secondary Setback by 2.0	13.	Refuse storage enclosures and collection	n
		metres measured from the Secondary Setback Line, as depicted on the Plan,	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view.
		provided that a Verandah or Pergola is attached to the Building and extends to and attaches to the Retaining Wall.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes, as indicated on LDP.
C.	Encroachments into Side Setback (North) i. Permitted Encroachments into Side	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	Setback (North)		15.	External Fixtures	Refer - Private Realm Operative Provisions
d.	Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
e.	i. Permitted Encroachments into Rear	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
8.	Setback Frontage/ Principal Elevation Requirement	ents	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front. Note: A Projecting Front is permitted only in the Secondary Setback.			



LOT 234

TRANSECT T4

LOT TYPE Interior

AREA (APPROX M²) 246

LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

23.30 Datum and Pad Level (refer Operative Provision No. 5)

+23.00 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Indicative Services Area

--- Retaining Wall Type 2

— No Vehicular Access

1 Principal Boundary

2 Side Boundary (North)

Side Boundary (South)

4 Rear Boundary

Proposed Light Pole Location

Lot 234 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 234. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
а.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.30 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT	
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Ac	cess	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary for	a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays	
		a length of 8.0 metres measured from the Side Setback Line within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
b.	Secondary Setback Line	N/A	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).	
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North)	d.	Required Garage Disposition	Rear Direct, Rear Side Stack.	
		within the Lot.	10.	Attached Fence and Sideyard Wal	lling	
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side	a. 11.	Type required Privacy	Attached Fence	
		Boundary, for a distance of up to 12 metres measured from the Rear Boundary.	a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil	
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.		ii. Rear Elevation on or adjacent to rear boundary	Nil	
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;	
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.			 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side 	
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9		•••••	Boundary, unless Screened.	
		metres from the Principal Boundary within the Lot for a length of 8.0		iv. Secondary Elevation	N/A	
		metres, measured 1.0 metre from the Side Boundary (North or South)		v. Side Elevation (North)	Open Outlook	
	• • • • • • • • • • • • • • • • • • • •	as shown on the Plan.			 Openings permitted. 	
g.	BTL Percentage	80% minimum.			 Verandahs, terraces and Balconies to be setback 	
h. 7.	Required Parapet Wall Locaiton Permitted Encroachments	N/A The extent to which any			a minimum of 4.5m from the Side Boundary, unless Screened.	
		Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls	any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining	any setback must take into account vi. Si the BCA (as amended from time to time) and engineering tolerances	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
a.	Encroachments in Principal Setback	Variable Delaying France			is a Celestial Window; oris Screened; or	
	 Permitted Encroachments into Principal Setback 	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows,			 is fitted with Opaque Glass. 	
		Portico to define the principal entrance, Plinths or Piers for	12.	Specific Design Requirement		
		the Verandah, Steps, Towers, a Terminating Vista Element.	a.	Is there a Specific Design Requirement applicable to this	No	
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.		Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)		
b.	Encroachments into Secondary Setb	ack	13.	Refuse storage enclosures and co	llection	
	i. Permitted Encroachments into Secondary Setback.	N/A	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public	
С.	Encroachments into Side Setback		h	Paguired Rin Collection Point	view	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached	 Required Bin Collection Point Yes Location (required by the City of Wanneroo) 	Yes		
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
0	Rear Setback		15.	External Fixtures	Refer - Private Realm Operative Provisions	
8. a.	Required Private Frontage Type	Verandah	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
b.	Permitted Principal Building		17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
	Elevation Types .		18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	



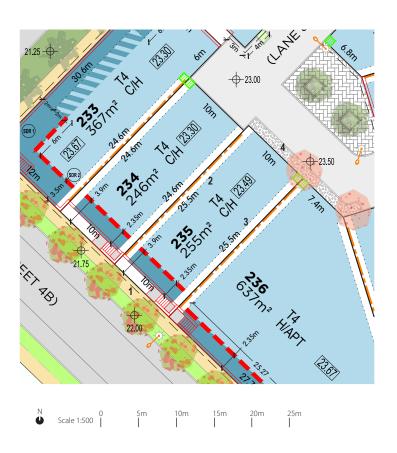
LOT 235

TRANSECT T4

LOT TYPE Interior

AREA (APPROX M²) 255

LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type
- (SDR)

Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

23.49 Datum and Pad Level (refer Operative Provision No. 5)

+23.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Side Boundary (North)

Side Boundary (South)

4 Rear Boundary

Proposed Light Pole Location

Lot 235 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 235. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.49 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Ac	cess
а.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary for	а.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		a length of 8.0 metres measured from the Side Setback Line within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b.	Secondary Setback Line	N/A	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North)	d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
		within the Lot.	10.	Attached Fence and Sideyard Wal	ling
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side	a. 11.	Type required Privacy	Attached Fence
		Boundary, for a distance of up to 12 metres measured from the Rear Boundary.	a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.		ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	Nil Openings (other than
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.		iii. Nedi elevation internal to a Lot	Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.			 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9			Boundary, unless Screened.
		metres from the Principal Boundary within the Lot for a length of 8.0	•••••	iv. Secondary Elevation	N/A
		metres, measured 1.0 metre from		v. Side Elevation (North)	Open Outlook
		the Side Boundary (North or South) as shown on the Plan.			Openings permitted.
g.	BTL Percentage	80% minimum.			Verandahs, terraces and
h.	Required Parapet Wall Locaiton	N/A			Balconies to be setback a minimum of 4.5m from
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account	•••••	vi. Side Elevation (South)	the Side Boundary, unless Screened. Restricted Outlook
		the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
a.	Encroachments in Principal Setback i. Permitted Encroachments into	Verandahs, Balconies, Eaves,			is a Celestial Window; oris Screened; or
	i. Permitted Encroachments into Principal Setback	Projecting Fronts, Bay Windows,			• is fitted with Opaque Glass.
		Portico to define the principal entrance, Plinths or Piers for	12.	Specific Design Requirement	
		the Verandah, Steps, Towers, a	а.	Is there a Specific Design	No
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	Terminating Vista Element. 2.35 metres measured from the Principal Setback Line.		Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
b.	Encroachments into Secondary Setb	ack	13.	Refuse storage enclosures and co	llection
•••••	i. Permitted Encroachments into Secondary Setback	•••••	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
С.	Encroachments into Side Setback			Paguired Pin Collection Point	•••••
		Eaves, Shade Devices and Attached	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
8.	Rear Setback Frontage/ Principal Elevation Requ		15.	External Fixtures	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Verandah	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
b.	Permitted Principal Building Elevation Types		17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
	Elevation Types		18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 236
TRANSECT T4
LOT TYPE Corner
AREA (APPROX M²) 637
LOT FRONTAGE 27.7m / 12.6m



Legend

Building Type

H House Type

APT Apartment House Type

Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

23.67 Datum and Pad Level (refer Operative Provision No. 5)

+23.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

—— Indicative Retaining Wall Locations

——— Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

1a+1b Principal Boundary

2 Side Boundary (North)

3 Side Boundary (East)

4 Rear Boundary

Proposed Light Pole Location

Lot 236 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 236. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
C.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
а.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acce	SS
a.	Principal Setback Line	1a + b) is parallel to and located 2.35 metres from the Principal Boundary, for alength of 35.57 metres measured from the Side Setback Line within the Lot.	a.	Garaging required for this minimum number of cars	House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Secondary Setback Line	N/A	b.	Additional garaging requirement for	Nil
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.	С.	Ancillary Unit, if provided Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + East).
		A portion of one (1) of the Side Setback Lines (North or East) may be located on the relevant Side	d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court, Rear Side Court.
		Boundary, for a distance of up to 12 metres measured from the Rear	10.	Attached Fencing and Sideyard Wal	
		Boundary.	a. 11.	Type required Privacy	Attached Fence
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.	a.	Privacy Restrictions on 1st floor and ab	oove Nil
		A portion of one (1) of the Side Setback Lines (North or East) may be located on the relevant Side Boundary, for a distance of up to		Rear Elevation on or adjacent to rear boundary Rear elevation internal to a Lot	Nil Openings (other than Balconies,
e. f.	Rear Setback Line Build-to-Line (BTL) Location	12 metres measured from the Rear Boundary. Is located on the Rear Boundary BTL 1) is parallel to and located 2.35 metres from the Principal Boundary		iii. Nedi elevatori memoreo a Esc	Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		for a length of 25.27 metres, measured 1.0m metre from the Side Boundary (North), and			 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
		BTL 2) is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.3 metres, measured 1.0 metre from the Side Boundary	•••••	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook.
g.	BTL Percentage	(East). BTL 1) 80% and BTL 2) 80%			Openings permitted.Verandahs, terraces and
h.	Required Parapet Wall Location	N/A			Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.	•••••	vi. Side Elevation (East)	Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
a.	Encroachments beyond Principal Setb	ack	12.	Specific Design Requirement	
	 Permitted Encroachments beyond the Principal Setback (1a + b) 	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment or Double Verandah.
•••••	ii. Extent to which Permitted	2.35 metres measured from the	13.	Refuse storage enclosures and colle	
	Encroachments may encroach beyond the Principal Setback	Principal Setback Line (1a +1b)	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
.b.	Encroachments beyond Secondary Se	••••••••••••	b.	Required Bin Collection Point	N/A
	i. Permitted Encroachments beyond the Secondary Setback	N/A		Location (required by the City of Wanneroo)	
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
С.	Encroachments into Side Setback		15.	External Fixtures	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Side Setback (North + East)	Eaves, Shade Devices and Attached Fences.	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
d.	Encroachments into Rear Setback.	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
8.	 i. Permitted Encroachments into Rear Setback Frontage/ Principal Elevation Requi 	•••••	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Verandah, and a Double Projecting Front.			



LOT 237
TRANSECT T4
LOT TYPE Interior
AREA (APPROX M²) 360
LOT FRONTAGE 12m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

23.90 Datum and Pad Level (refer Operative Provision No. 5)

+23.00 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (East)

Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 237 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 237. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.90 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acc	ess
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, for	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		a length of 10 metres measured from the Side Setback Line within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
		from the Side Boundary (East) within the Lot.	d. 10.	Permitted Garage Disposition Attached Fence and Sideyard Walli	Rear Direct, Rear Side Stack.
		A portion of one (1) of the Side	a.	Type required	Attached Fence
		Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres	11.	Privacy	
		measured from the Rear Boundary.	a.	Privacy Restrictions on 1st floor and a	bove
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.		Principal Elevation Rear Elevation on or adjacent to rear boundary	Nil Nil
	Rear Setback Line	A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is located on the Rear Boundary		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (East or West) as shown on the Plan.		iv. Secondary Elevation (South)	glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. N/A
g.	BTL Percentage	80% minimum	•••••	v. Side Elevation (East)	Open Outlook
h. 7.	Requirement for a Parapet Wall Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining			 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	For any order to Dairy storal Code and	walls.		vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows,			of 4.5m from the Side Boundary unless the Opening:
	r melpar setsaek	Portico to define the principal			• is a Celestial Window; or
		entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse,			is Screened; oris fitted with Opaque Glass.
		a Terminating Vista Element	12.	Specific Design Requirement	is fitted with Opaque diass.
	ii. Extent to which Permitted Encroachments may encroach	2.9 metres measured from the Principal Setback Line.	a.	Is there a Specific Design	Yes - Projecting Front (location of
b.	into the Principal Setback Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback.	nck N/A		Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Specific Design Requirement is depicted on the attached plan as a SDR)
	Encroachments into Side Setback	•••••	13.	Refuse storage enclosures and coll	
	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
8.	Frontage/ Principal Elevation Requ	irements	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Verandah.	15.	External Fixtures	Refer - Private Realm Operative Provisions
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
		and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
		y y	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 238

TRANSECT T4

LOT TYPE Edge Lot

AREA (APPROX M²) 414

LOT FRONTAGE 13.8m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.74 Datum and Pad Level (refer Operative Provision No. 5)

+24.75 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

—-— Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

1 Principal Boundary

2a + 2b Secondary Boundary

3 Side Boundary

4 Rear Boundary

Proposed Light Pole Location

Lot 238 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 238. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.74 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Requir	ements
a.	Principal Setback Line	Is parallel to and located 2.35 metres	a.	Required Private Frontage Type	Verandah
		from the Principal Boundary, for a length of 10.45 metres measured	b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front
		from the Secondary Setback Line within the Lot.		21	and a Return Verandah, a Double Return Verandah and a Double
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary			Projecting Front.
		within the Lot for a length of 7.0 metres measured from the Principal	9.	Garaging, Parking and Vehicle Acces	
		Setback Line; and	a	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		2b) is parallel to and located on the Secondary Boundary within the	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
		Lot for a distance of 20.65 metres measured from the Rear Boundary.	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West)
C.	Side Setback Line	N/A	d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre	10.	Attached Fence and Sideyard Walling	
		from the Side Boundary (West) within the Lot.	a.	Type required	Attached Fence
		A portion of the Side Setback Line	11.	Privacy	, ttderied i eriee
		(West) may be located on the relevant	a.	Privacy Restrictions on 1st floor and abo	
		Side Boundary, for a distance of up to 12 metres measured from the Rear	•••••	i. Principal Elevation	Nil
	•••••	Boundary.	•••••	ii. Rear Elevation on or adjacent to	Nil
e.	Rear Setback Line	Is located on the Rear Boundary		rear boundary	1411
	D dila in (DTI) in di	within the Lot.	•••••	iii. Rear elevation internal to a Lot	Openings (other than Balconies,
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal			Verandahs or terraces) to be setback 2.0m from Side Boundary
		Boundary within the Lot for a length of 10.45metres, measured from the			unless Screened, or the Opening
		Side Setback Line (West) as shown on			consists of Celestial Windows or opaque glass windows;
		the Plan.			 Verandahs, terraces and Balconies
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary			to be setback a minimum of 4.5m
		2a for a distance of 7.0 metres			from a Side Boundary, unless Screened.
		measured from the Principal Setback Line.	•••••	iv. Secondary Elevation	Nil
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%	•••••	v. Side Elevation	N/A
h.	Required Parapet Wall Location	N/A	• • • • • • • • • • • • • • • • • • • •	vi. Side Elevation (West)	Restricted Outlook
7.	Permitted Encroachments	The extent to which any		, , , , , , , , , , , , , , , , , , , ,	Openings to be setback a minimum
		Encroachment can encroach into			of 4.5m from the Side Boundary
		any setback must take into account the BCA (as amended from time to			unless the Opening:
		time) and engineering tolerances and			is a Celestial Window; or
		limitations of any retaining walls.			is Screened; or in 644-4 with One and Class
a.	Encroachments in Principal Setback				• is fitted with Opaque Glass.
	 i. Permitted Encroachments into Principal Setback 	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay	12.	Specific Design Requirement	
		Windows, Portico to define the	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated	Yes - Projecting Front (location of Specific Design Requirement is
		principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a		Vista, Corner Treatment, Projecting	graphically depicted on the attached
		Terminating Vista Element.		Front, Laneway Surveillance)	plan as 'SDR').
	ii. Extent to which Permitted	2.35 metres measured from the	13.	Refuse storage enclosures and collect	
	Encroachments may encroach into the Principal Setback	Principal Setback Line.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Encroachments into Secondary Setback		 b.	Required Bin Collection Point Location	*····
• • • • • • • • • • • • • • • • • • • •	i. Permitted Encroachments into	2a) Verandahs, Pergola, Balconies,	٥.	(required by the City of Wanneroo)	
	Secondary Setback.	Eaves, Projecting Fronts, Bay Windows, Portico to define the	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
		principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a	15.	External Fixtures	Refer - Private Realm Operative Provisions
		Terminating Vista Element. 2b) N/A	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
•••••	ii. Extent to which Permitted	2a) 2.35 metres measured from the	17.	Exemptions to Planning Approval	Refer - Private Realm Operative
	Encroachments may encroach into the Secondary Setback	Secondary Setback Line. An exception to this is Steps, which are not			Provisions
		restricted. Encroachment is permitted to extend over the entry stairs and bottom landing.	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
		_			
	Faces also and the College of the Co	2b) N/A			
C.	Encroachments into Side Setback				
	 i. Permitted Encroachments into Side Setback (West) 	Eaves, Shade Devices and Attached Fences.			
d.	Encroachments into Rear Setback.				
	i. Permitted Encroachments into	N/A			
	Rear Setback				



LOT 239
TRANSECT T4
LOT TYPE Edge
AREA (APPROX M²) 300
LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

25.30 Datum and Pad Level (refer Operative Provision No. 5)

+24.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

— Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area
Principal Boundary

2 Secondary Boundary

Side Boundary (North)

4 Rear Boundary

Proposed Light Pole Location

Lot 239 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 239. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

_	•	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
а.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

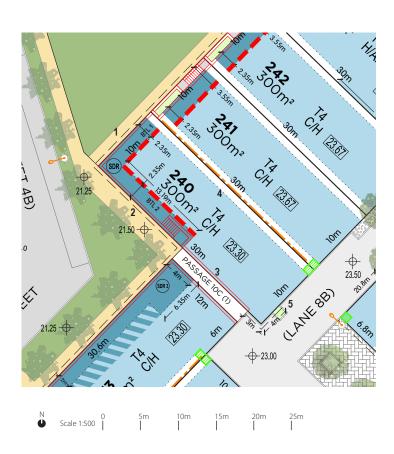
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.25 / 25.30 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 3.7 metres from the Principal Boundary for a length of 9.0 metres measured from the Secondary Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
 С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
6 Setl a. Prin b. Secc c. Side d. Side e. Rea	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	 2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	i. Permitted Encroachments into	n/A
	Secondary Setback.	•••••
C.	i. Permitted Encroachments into	Eaves, Shade Devices and Attached
	Side Setback (North)	Fences.
d.	Encroachments into Rear Setback.	•••••
• • • • • •	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (North),
		Rear Boundary

		REQUIREMENT
10.	Attached Fencing and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
а.	Privacy Restrictions on 1st floor and a	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent	Nil
	to rear boundary	
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback
		a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation	the Side Boundary, unless
12.	Specific Design Requirement	the Side Boundary, unless Screened.
		the Side Boundary, unless Screened.
12. a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	the Side Boundary, unless Screened. N/A N/A
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	the Side Boundary, unless Screened. N/A N/A
a. 13.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll	the Side Boundary, unless Screened. N/A N/A Rection Storage for 3 bins provided within the Lot and screened from public
a. 13. a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of	the Side Boundary, unless Screened. N/A N/A N/A Storage for 3 bins provided withir the Lot and screened from public view
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	the Side Boundary, unless Screened. N/A N/A N/A Storage for 3 bins provided withir the Lot and screened from public view No Refer - Private Realm Operative Provisions
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	the Side Boundary, unless Screened. N/A N/A N/A Storage for 3 bins provided withir the Lot and screened from public view No Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	the Side Boundary, unless Screened. N/A N/A N/A Storage for 3 bins provided withir the Lot and screened from public view No Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions







Legend

Building Type

- Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

23.30 Datum and Pad Level (refer Operative Provision No. 5)

+23.00 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Secondary Boundary

3 Side Boundary (West)

4 Side Boundary (East)

5 Rear Boundary

*- Proposed Light Pole Location

Lot 240 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 240. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Disposition	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on the Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	23.30 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation R	equirements
a.	Principal Setback Line	Is parallel to and located 2.35m from the Principal Boundary, for a length of 6.65 metres measured from the Secondary Setback Line within the Lot.	a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.
b.	Secondary Setback Line	Is parallel to and located 2.35m from the Secondary Boundary, for a length of 13.19 metres measured from the	9.	Garaging, Parking and Vehicle	
 C.	Side Setback Line (West)	Principal Setback Line within the Lot. Is located on the Side Setback Line	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
C.	Side Setsderk Line (west)	(West) within the Lot as shown on the Plan.	b.	Additional garaging requirement for Ancillary Unit	Nil
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Setback Line (East) within the Lot.	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West), a portion of the Rear Boundary as depicted on the Plan.
		A portion of the Side Setback Line (East) may be located on the Site Boundary, for a distance of up to	d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
		12.0 metres measured from the Rear	10.	Fencing and Walling	
e.	Rear Setback Line	Boundary. Is located on the Rear Boundary	a.	Required fencing:	Attached Fence
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located	11.	Privacy	
	bana to Enic (BTE) Edeadon	2.35 metres from the Principal	a.	Privacy Restrictions on 1st floor ar	• • • • • • • • • • • • • • • • • • • •
		Boundary for a length of 6.65 metres measured from the Secondary Setback	•••••	i. Principal Elevation ii. Rear Elevation on or	Nil Nil
		Line, within the Lot as shown on the Plan, and		adjacent to rear boundary	
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary for a length of 13.19 metres measured from the Principal Setback Line, within the Lot as shown on the Plan.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
g. h.	BTL Percentage Required Parapet Wall Location	•••••••••••••••••••••••••••••••••••••••			 Verandahs, terraces and Balconies to be setback a minimum of 4.5m
7.	•				from a Side Boundary, unless Screened.
7.	Permitted Encroachments The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and	Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and		iv. Secondary Elevation v. Side Elevation (East)	Nil Open Outlook
		limitations of any retaining walls.			Openings permittedVerandahs, terraces and Balconies
a. ••••••	i. Permitted Encroachments into Principal Setba	ck Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps,	•••••	vi. Side Elevation (West)	to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil
	•	Towers, a Terminating Vista Element.	12.	Specific Design Requirement	
b.	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary So	2.35 metres measured from the Principal Setback Line.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment or Double Verandah
••••	i. Permitted Encroachments	Verandahs, Balconies, Eaves, Bay	13.	Refuse storage enclosures and	collection
	into Secondary Setback.	Windows, Portico to define the	a.	Required Bin Storage	Storage for 3 bins provided within the
		principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.	•••••		Lot and screened from public view
•••••	ii. Extent to which Permitted Encroachments may	2.35 metres measured from the Secondary Setback Line.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
	encroach into the Secondary Setback	Encroachment is permitted to extend over the entry stairs and bottom landing.	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
 С.	Encroachments into Side Setback (East)	a. a. g.	15.	External Fixtures	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
d.	Encroachments into Side Setback (West)		17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
•••••	i. Permitted Encroachments into Side Setback (West)	N/A	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
e	i. Permitted Encroachments into Rear Setback	N/A		Developer without Consent	







Legend

Building Type

- Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

[23.67] Datum and Pad Level (refer Operative Provision No. 5)

+23.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

— Retaining Wall Type 2

— — No Vehicular Access

//// Indicative Services Area

1 Principal Boundary

2 Side Boundary (West)

Side Boundary (East)

4 Rear Boundary

Proposed Light Pole Location

Lot 241 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 241. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	•••••
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acc	cess
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal	а.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b.	Secondary Setback Line	N/A	С.	Lot boundaries where Vehicle	Principal Boundary, Side Boundary
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East)	d.	Access is prohibited Permitted Garage Disposition	(East and West) Rear Direct , Rear Side Stack.
		within the Lot.	10.	Attached Fencing and Sideyard W	alling
		A portion of one (1) of the Side	a.	Type required	Attached Fence
		Setback Lines (either East or West) may be located on the relevant	11.	Privacy	
		Side Boundary, for a distance of up to 12 metres measured from the	a.	Privacy Restrictions on 1st floor and	above
		Rear Boundary.	•••••	i. Principal Elevation	Nil
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
		A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.			Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and		iv. Secondary Elevation v. Side Elevation (East)	Boundary, unless Screened. N/A Open Outlook.
	DTI 0	West) as shown on the Plan.			 Openings permitted.
g.	BTL Percentage	80% minimum			 Verandahs, terraces and Balconies to be setback
h. 7.		N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			a minimum of 4.5m from the Side Boundary, unless Screened.
			•••••	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
	Encroachments beyond Principal Set				 is a Celestial Window; or
•••••	i. Permitted Encroachments	Verandahs, Balconies, Eaves,			• is Screened; or
	beyond the Principal Setback	Projecting Fronts, Bay Windows, Portico to define the principal			• is fitted with Opaque Glass.
		entrance, Gatehouse, Plinths or Piers for the Verandah, Steps,	12.	Specific Design Requirement	
		Towers, a Terminating Vista Element.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.	42	Treatment, Projecting Front, Laneway Surveillance)	ne
b.	Encroachments into Secondary Setb	ack	13.	Refuse storage enclosures and co	
	Permitted Encroachments into Secondary Setback.	N/A	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.	15.	External Fixtures	Refer - Private Realm Operative Provisions
d.	Encroachments into Rear Setback. Rear Setback Rear Setback	N/A	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
•••••	ii. Extent to which Permitted Encroachments may encroach	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
8.	beyond the Rear Setback Frontage/ Principal Elevation Requ	uirements	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Verandah		-	
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.			



LOT 242
TRANSECT T4
LOT TYPE Interior
AREA (APPROX M²) 300
LOT FRONTAGE 10m



Legend

Building Type

- Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

23.67 Datum and Pad Level (refer Operative Provision No. 5)

+21.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

— Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (West)

Side Boundary (East)

4 Rear Boundary

Proposed Light Pole Location

Lot 242 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 242. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

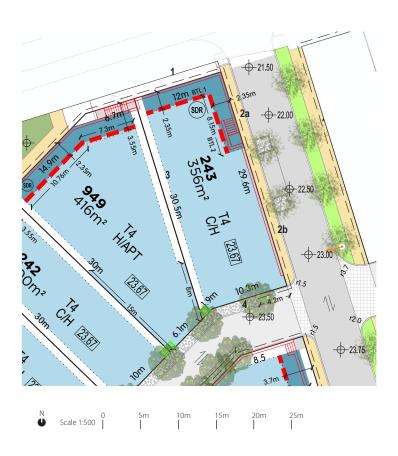
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ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum External Wall Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	23.67 AHD	

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acc	cess
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal	а.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b.	Secondary Setback Line	N/A	С.	Lot boundaries where Vehicle	Principal Boundary, Side Boundary
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East)	d.	Access is prohibited Permitted Garage Disposition	(East and West) Rear Direct , Rear Side Stack.
		within the Lot.	10.	Attached Fencing and Sideyard W	alling
		A portion of one (1) of the Side	a.	Type required	Attached Fence
		Setback Lines (either East or West) may be located on the relevant	11.	Privacy	
		Side Boundary, for a distance of up to 12 metres measured from the	a.	Privacy Restrictions on 1st floor and	above
		Rear Boundary.	•••••	i. Principal Elevation	Nil
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
		A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.			Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and		iv. Secondary Elevation v. Side Elevation (East)	Boundary, unless Screened. N/A Open Outlook.
	DTI 0	West) as shown on the Plan.			 Openings permitted.
g.	BTL Percentage	80% minimum			 Verandahs, terraces and Balconies to be setback
h. 7.		N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			a minimum of 4.5m from the Side Boundary, unless Screened.
			•••••	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
	Encroachments beyond Principal Set				 is a Celestial Window; or
•••••	i. Permitted Encroachments	Verandahs, Balconies, Eaves,			• is Screened; or
	beyond the Principal Setback	Projecting Fronts, Bay Windows, Portico to define the principal			• is fitted with Opaque Glass.
		entrance, Gatehouse, Plinths or Piers for the Verandah, Steps,	12.	Specific Design Requirement	
		Towers, a Terminating Vista Element.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.	42	Treatment, Projecting Front, Laneway Surveillance)	ne
b.	Encroachments into Secondary Setb	ack	13.	Refuse storage enclosures and co	
	Permitted Encroachments into Secondary Setback.	N/A	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.	15.	External Fixtures	Refer - Private Realm Operative Provisions
d.	Encroachments into Rear Setback. Rear Setback Rear Setback	N/A	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
•••••	ii. Extent to which Permitted Encroachments may encroach	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
8.	beyond the Rear Setback Frontage/ Principal Elevation Requ	uirements	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Verandah		-	
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.			



LOT 243
TRANSECT 74
LOT TYPE Edge
AREA (APPROX M²) 356
LOT FRONTAGE 12m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

23.67 Datum and Pad Level (refer Operative Provision No. 5)

+23.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

— No Vehicular Access

Indicative Services Area

1 Principal Boundary

2a + 2b Secondary Boundary

3 Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 243 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 243. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

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ITEM	DESCRIPTION	REQUIREMENT		
1	Site Works			
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions		
b.	Stormwater Management	Refer - Private Realm Operative Provisions		
C.	Retaining Walls	Refer - Private Realm Operative Provisions		
2	Number of Dwellings on Lot			
a.	Maximum Number of Single Residential Dwellings	One (1)		
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A		
С.	Ancillary Unit	Permitted		
3	Dwelling Controls			
a.	Maximum Lot Coverage	75%		
b.	Permitted Building Types	Cottage. House		
С.	Lot Type Designation	Edge Lot		
d.	Permitted Building Dispositions	Edgeyard, Courtyard		
e.	Required Terrace Grouping	N/A		

DESCRIPTION	REQUIREMENT	
Plinths		
Is a Plinth required for this Lot?	Yes	
Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.	
Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
Required building element to attach to the Plinth	Verandah	
Building Heights		
Maximum No of Storeys	2 storeys plus loft	
Maximum External Wall Height	7.5 metres	
Lot Datum (from which Building Height is measured)	23.67 AHD	
	Plinths Is a Plinth required for this Lot? Has a Plinth been provided by the Jindee Developer and, if so, what type? Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) Required building element to attach to the Plinth Building Heights Maximum No of Storeys Maximum External Wall Height Lot Datum (from which Building	

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Require	ements
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 8.65 metres measured from the Secondary Setback Line within the Lot.	a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a distance of 8.15 metres measured from the Principal Setback Line.	9. a.	Garaging, Parking and Vehicle Access Garaging required for this minimum number of cars	Verandah, a Double Return Verandah. Cottage/ House - 2 bays
 C.	Side Setback Line (West)	2b) is located on the Secondary Boundary for a distance of 19.1 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	b. c.	Additional garaging requirement for Ancillary Unit, if provided Lot boundaries where Vehicle Access is prohibited	Nil Principal Boundary, Secondary Boundary, Side Boundary (West), a portion of the Rear Boundary as depicted on the Plan.
		A portion of the Side Setback Line (West) may be located on the Side Boundary, for a distance of up to	d. 10. a.	Permitted Garage Disposition Attached Fencing and Sideyard Walli Type required	Rear Direct , Rear Side Stack. ng Attached Fence
	•••••	12 metres measured from the Rear Boundary.	11.	Privacy	Attached Ferice
d. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary within the Lot. Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.65 metres, measured from the Side Setback Line (West) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 8.15 metres measured from the Principal Setback Line.	a.	Privacy Restrictions on 1st floor and about. i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	Nil Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies
g.	BTL Percentage	BTL 1) 100% and BTL 2) 50% minimum			to be setback a minimum of 4.5m from a Side Boundary, unless
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		iv. Secondary Elevation v. Side Elevation (West)	Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
a.	Encroachments beyond Principal Setba i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal	12.	Specific Design Requirement	is a Celestial Window; oris Screened; oris fitted with Opaque Glass.
•••••	ii. Extent to which Permitted	entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment or Double Verandah
	Encroachments may encroach beyond the Principal Setback	Principal Setback Line.	13.	Refuse storage enclosures and collec	tion
b.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	k 2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating	a. b.	Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Storage for 3 bins provided within the Lot and screened from public view N/A
			14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
		Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing.	15.	External Fixtures	Refer - Private Realm Operative Provisions
		2b) N/A	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
	ii. Extent to which Permitted Encroachments may encroach	2a) 2.35 metres measured from the Secondary Setback Line.	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
C.	beyond the Secondary Setback Encroachments into Side Setback (Wes i. Permitted Encroachments into Side Setback	2b) NA t) Eaves, Shade Devices and Attached Fences.	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
d.	Encroachments into Rear Setback.	1 C11CC3.			
u.	i. Permitted Encroachments into Rear Setback	N/A			
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A			



LOT 252
TRANSECT T4
LOT TYPE Edge
AREA (APPROX M²) 348
LOT FRONTAGE 12m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Datum and Pad Level (refer Operative Provision No. 5)

+24.50Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Indicative Services Area

--- Retaining Wall Type 2

— No Vehicular Access

1 Principal Boundary

2 Secondary Boundary

Side Boundary (South)

4 Rear Boundary

Proposed Light Pole Location

Lot 252 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 252. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.40/ 25.02 AHD

ITEN	1 DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 11.0 metres measured from the Secondary Boundary within the Lot
b.	Secondary Setback Line	Is parallel to and located on the the Secondary Boundary within the Lot.
С.	Side Setback Line (North)	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
۰۰۰۰۰	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 11 metres, measured from the Secondary Boundary.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Se i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	 Encroachments into Secondary Setb i. Permitted Encroachments into Secondary Setback. 	oack N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	•••••
••••	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
••••	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Acc	cess
а.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary, Side Boundary (South) and Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	, italienea venee
a.	Privacy Restrictions on 1st floor and	ahovo
a.	• • • • • • • • • • • • • • • • • • • •	
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
•••••	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
• • • • • • • •	v. Side Elevation (North)	N/A
• • • • • • • •	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



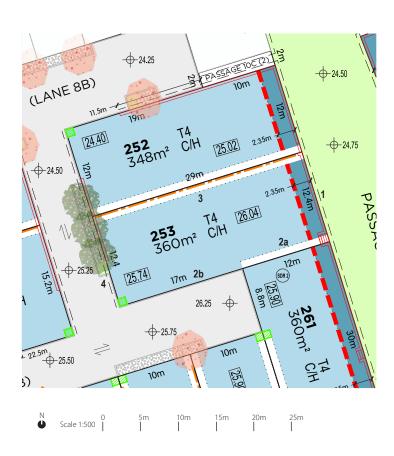
LOT 253

TRANSECT 74

LOT TYPE Interior

AREA (APPROX M²) 360

LOT FRONTAGE 12.4m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

26.13 Datum and Pad Level (refer Operative Provision No. 5)

+25.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

1 Principal Boundary

2a+2b Side Boundary (South)

Side Boundary (North)

4 Rear Boundary

Proposed Light Pole Location

Lot 253 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 253. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
а.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
а.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.74/ 26.04 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acce	ess
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		length of 10.4 metres measured from the Side Setback Line within the Lot.	b.	Additional garaging requirement for Ancillary Unit	Nil
b.	Secondary Setback Line	N/A	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North), Rear Boundary.
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.	d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.
d.	Side Setback Line (South)	2a) is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot, and	a.	Type of Walling required Privacy	Attached Fence
		2b) is parallel to and located on the Side Boundary (South), for a length of 17 metres measured from the Rear Boundary, within the Lot as shown on the Plan.	a	Privacy Restrictions on 1st floor and al i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	oove Nil Nil
e.	Rear Setback Line	Is located on the Rear Boundary	•••••	iii. Rear elevation internal to a Lot	Openings (other than Balconies,
f.	Build-to-Line (BTL) Location BTL Percentage	Yes. Is located on the Principal Setback Line for a distance of 10.4 metres measured from the Side Boundary (both North and South) as shown on the Plan.		iii. Rear elevation internal to a Lot	Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
					Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
h	Required Parapet Wall Location	N/A			Boundary, unless Screened.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account	••••	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook.
a.	Encroachments beyond Principal Setb	the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side
•••••	i. Permitted Encroachments	Verandahs, Balconies, Eaves, Bay			Boundary, unless Screened.
	beyond the Principal Setback	Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element		vi. Side Elevation (South)	2a) Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.			is a Celestial Window; oris Screened; oris fitted with Opaque Glass.
b.	Encroachments into Secondary Setba	.			2b) N/A
•••••	i. Permitted Encroachments into	N/A	12.	Specific Design Requirement	
	Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
C	Encroachments into Side Setback	• • • • • • • • • • • • • • • • • • • •	13.	Refuse storage enclosures and colle	ection
٠٠٠٠٠٠	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A	b.	Required Bin Collection Point Location (required by the City of	view N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A	14.	Wanneroo) Landscaping + Street Trees	Refer - Private Realm Operative Provisions
8.	Frontage/ Principal Elevation Requi	rements	15.	External Fixtures	Refer - Private Realm Operative
а. b.	Required Private Frontage Type Permitted Principal Building	Verandah Straight Front, a Return Verandah, a	16.	Design Outcomes – Additional	Provisions Refer - Private Realm Operative
	Elevation Types	Double Return Verandah	17.	Requirements + Controls Exemptions to Planning Approval	Provisions Refer - Private Realm Operative Provisions
			18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 254
TRANSECT T4
LOT TYPE Edge
AREA (APPROX M²) 420
LOT FRONTAGE 14m



Legend

Building Type

- c Cottage Type
- **H** House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.00 Datum and Pad Level (refer Operative Provision No. 5)

+23.75 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

—-— Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Secondary Boundary

3 Side Boundary (South)

4 Rear Boundary

Proposed Light Pole Location

Lot 254 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 254. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.57/ 24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle A	ccess
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, for a	а.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		length of 13.0 metres measured from the Secondary Boundary within the Lot.	b.	Additional garaging requirement for Ancillary Unit	Nil
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (South), Rear Boundary
C.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.	d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court.
d.	Side Setback Line	N/A	10.	Attached and Sideyard Walling	
е.	Rear Setback Line	Is located on the Rear Boundary	a.	Type of Walling required	Attached Fence
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal	11.	Privacy	
	, ,	Setback Line for a distance of	a.	Privacy Restrictions on 1st floor an	d above
		13 metres measured from the Secondary Boundary.	•••••	i. Principal Elevation	Nil
g.	BTL Percentage	80% minimum		ii. Rear Elevation on or adjacent to rear boundary	Nil
h.	Required Parapet Wall Location	N/A		iii. Rear elevation internal to	Openings (other than
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.	terraces) to be set from Side Bounda Screened, or the C consists of Celesti or opaque glass v • Verandahs, terrace		Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback
а.	Encroachments beyond Principal S	ietback			a minimum of 4.5m from a Side Boundary, unless
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Flement		iv. Secondary Elevation v. Side Elevation (South)	Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side
••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.			 Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
b.	Encroachments into Secondary Se	tback	12.	Specific Design Requirement	is inted with opaque diass.
	i. Permitted Encroachments into Secondary Setback.	N/A	a.	Is there a Specific Design Requirement applicable to this	No
******	ii. Extent to which Permitted Encroachments may encroach into the Secondary	N/A		Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
		•••••	13.	Refuse storage enclosures and o	ollection
C			a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.	b.	Required Bin Collection Point	public view N/A
d.	Encroachments into Rear Setback.			Location (required by the City of Wanneroo)	
	i. Permitted Encroachments into Rear Setback	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	ii. Extent to which Permitted Encroachments may	N/A	15.	External Fixtures	Refer - Private Realm Operative Provisions
8.	encroach into a Rear Setback Frontage/ Principal Elevation Re	quirements	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Verandah	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a	18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 255
TRANSECT T4
LOT TYPE Edge
AREA (APPROX M²) 456
LOT FRONTAGE 15.2m



Legend

Building Type

- c Cottage Type
- **H** House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

25.50 Datum and Pad Level (refer Operative Provision No. 5)

+25.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

1 Principal Boundary

Secondary Boundary

3 Side Boundary (North)

4 Rear Boundary

Proposed Light Pole Location

Lot 255 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 255. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specii	ic negativenes	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
	Required Terrace Grouping	N/A
	••••••••	. .

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.50 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle A	Access
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		Boundary, for a length of 14.2 metres measured from the Secondary Boundary within the	b.	Additional garaging requirement for Ancillary Unit	Nil
b.	Secondary Setback Line	Lot. Is parallel to and located on the Secondary Boundary within the Lot.	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (North), Rear Boundary
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.	d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court.
d.	Side Setback Line (South)	N/A	10.	Attached and Sideyard Walling	
e.	Rear Setback Line	Is located on the Rear Boundary	a. 11.	Type of Walling required Privacy	Attached Fence
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal		· · · · · · · · · · · · · · · · · · ·	d abovo
	24.14 to 2.1.16 (2.12) 25 2446	Setback Line for a distance of 14.2 metres measured from the Secondary Boundary.	a.	Privacy Restrictions on 1st floor an i. Principal Elevation	Nil
g.	BTL Percentage	80% minimum		ii. Rear Elevation on or adjacent to rear boundary	Nil
h.	Required Parapet Wall Location	N/A	•••••	iii. Rear elevation internal to	Openings (other than
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		a Lot	Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback
a.	Encroachments beyond Principal S	etback			a minimum of 4.5m from a Side Boundary, unless
	Permitted Encroachments beyond the Principal Setback Extent to which Permitted	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.		iv. Secondary Elevation v. Side Elevation (North)	Screened. Nil Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback
	Encroachments may encroach beyond the Principal Setback	the Principal Setback Line. An exception to this is Steps, which are not restricted.			a minimum of 4.5m from the Side Boundary, unless Screened.
b.	Encroachments into Secondary Se	tback	12.	Specific Design Requirement	
	Permitted Encroachments into Secondary Setback. Extent to which Permitted Encroachments may	N/A N/A	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
	encroach into the Secondary Setback		13.	Refuse storage enclosures and o	collection
С.	Encroachments into Side Setback i. Permitted Encroachments	Eaves, Shade Devices and	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
d.	into Side Setback (North) Encroachments into Rear Setback.	Attached Fences.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
	i. Permitted Encroachments into Rear Setback	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	ii. Extent to which Permitted Encroachments may	N/A	15.	External Fixtures	Refer - Private Realm Operative Provisions
8.	encroach into a Rear Setback Frontage/ Principal Elevation Re	quirements	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
а. b.	Required Private Frontage Type Permitted Principal Building	Verandah Straight Front, Projecting Front,	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
υ.	Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.	18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 256
TRANSECT T4
LOT TYPE Edge
AREA (APPROX M²) 420
LOT FRONTAGE 14m



Legend

Building Type

- Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

25.36 Datum and Pad Level (refer Operative Provision No. 5)

+25.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

— Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

Principal Boundary

2a+2b Secondary Boundary

3 Side Boundary

4 Rear Boundary

Proposed Light Pole Location

Lot 256 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 256. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
а.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum External Wall Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	25.36 AHD	

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Require	ements
a.	Principal Setback Line	Is parallel to and located 2.35 metres	a.	Required Private Frontage Type	Verandah
••••		from the Principal Boundary, for a length of 10.65 metres measured from the Secondary Setback Line within the Lot.	b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.
b.	Secondary Setback Line (West)	2a) is parallel to and located 2.35 metres from the Secondary Boundary	9.	Garaging, Parking and Vehicle Access	
		within the Lot for a length of 7.0 metres measured from the Principal	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		Setback Line; and 2b) is parallel to and located on the	b.	Additional garaging requirement for Ancillary Unit	Nil
		Secondary Boundary within the Lot for a distance of 19.65 metres measured from the Rear Boundary.	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East).
 С.	Side Setback Line (West)	N/A	d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre	10.	Attached and Sideyard Walling	Attached Fence
		from the Side Setback Line (East) within the Lot.	a. 11.	Type of Walling required Privacy	Attached refice
		A portion of Side Setback Line (East)	a.	Privacy Restrictions on 1st floor and abo	ve
		may be located on the relevant Side Boundary, for a distance of up to		i. Principal Elevation	Nil
••••	•••••	12 metres measured from the Rear Boundary.		ii. Rear Elevation on or adjacent to rear boundary	Nil
e.	Rear Setback Line	Is located on the Rear Boundary	•••••	iii. Rear elevation internal to a Lot	Openings (other than Balconies,
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.65 metres, measured from the Secondary Setback Line (West) as shown on the Plan.			Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 7.0 metres			 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
		measured from the Principal Setback Line.	•••••	iv. Secondary Elevation	Nil
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%		v. Side Elevation (East)	Open Outlook.
h.	Required Parapet Wall Location	N/A			Openings permitted.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to			 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
		time) and engineering tolerances and limitations of any retaining walls.	12.	Specific Design Requirement	
a.	Encroachments beyond Principal Setbac i. Permitted Encroachments beyond the Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - A Double Verandah
			13.	Refuse storage enclosures and collect	
• • • • • • • • • • • • • • • • • • • •		Verandah, Steps, Towers, a Terminating Vista Element.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
b.	Encroachments into Secondary Setback		14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Secondary Setback.	2a) Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry	15.	External Fixtures	Refer - Private Realm Operative Provisions
			16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
			17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
		stairs and bottom landing. 2b) N/A	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. 2b) N/A		•	
	Encroachments into Side Setback	•••••			
	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.			
d.	Encroachments into Rear Setback.	ו כווגלט.			
u.	i. Permitted Encroachments into	N/A			
	Rear Setback ii. Extent to which Permitted Encroachments may encroach into a Rear Sethack	N/A			

into a Rear Setback



LOT 257
TRANSECT T4
LOT TYPE Interior
AREA (APPROX M²) 299.5
LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

25.36 Datum and Pad Level (refer Operative Provision No. 5)

♦24.75 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (East)

Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 257 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 257. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT	
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
C.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
C.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Types	Cottage, House	
C.	Lot Type Designation	Interior Lot	
d.	Permitted Building Dispositions	Edgeyard and Courtyard	
e	Required Terrace Grouping	N/A	

ITEM DESCRIPTION		REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Terrace with a Pergola.	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum External Wall Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	25.36 AHD	

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acc	cess
a.	Principal Setback Line	Is parallel to and located 3.75 metres from the Principal Boundary	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		for a length of 8.0 metres measured from the Side Setback Line within the Lot.	b.	Additional garaging requirement for Ancillary Unit	Nil
 b.	Secondary Setback Line	N/A	С.	Lot boundaries where Vehicle	Principal Boundary, Side Boundary
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre		Access is prohibited	(East and West).
	,,	from the Side Boundary (East) within the Lot.	d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
			10.	Attached and Sideyard Walling	
		A portion of one (1) of the Side Setback Lines (East or West) may	a.	Type of Walling required	Attached Fence
		be located on the relevant Side Boundary, for a distance of up to	11.	Privacy	-1
		12 metres measured from the Rear	a.	Privacy Restrictions on 1st floor and i. Principal Elevation	Nil
d.	Side Setback Line (West)	Boundary.	•••••	ii. Rear Elevation on or adjacent	Nil
u.	Side Setdack Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.		to rear boundary	1411
		A portion of one (1) of the Side		iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or
		Setback Lines (East or West) may			terraces) to be setback 2m
		be located on the relevant Side Boundary, for a distance of up to			from Side Boundary unless Screened, or the Opening
		12 metres measured from the Rear Boundary.			consists of Celestial Windows or opaque glass windows;
 е.	Rear Setback Line	Is located on the Rear Boundary			Verandahs, terraces and
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal			Balconies to be setback a minimum of 4.5m from a Side
	build to Elife (BTE) Edealion	Setback Line for a distance of 8.0			Boundary, unless Screened.
		metres measured from the Side Boundary (East or West)	•••••	iv. Secondary Elevation	N/A
g.	BTL Percentage	80% minimum		v. Side Elevation (East)	Open Outlook.
					 Openings permitted.
h.	Required Parapet Wall Location	N/A			 Verandahs, terraces and Balconies to be setback
7.	Permitted Encroachments	The extent to which any Encroachment			a minimum of 4.5m from
		can encroach into any setback must take into account the BCA (as			the Side Boundary, unless Screened.
		amended from time to time) and engineering tolerances and limitations		vi. Side Elevation (West)	Restricted Outlook
		of any retaining walls.			Openings to be setback a minimum of 4.5m from the Side
a.	i. Permitted Encroachments	•••••			Boundary unless the Opening:
	beyond the Principal Setback	Terrace with a Pergola, Balconies, Eaves, Projecting Fronts, Bay			• is a Celestial Window; or
		Windows, Portico to define the principal entrance, Plinths or Piers			is Screened; or
		for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista	12	Caralfa Davisa Davisa	• is fitted with Opaque Glass.
		Element.	12.	Specific Design Requirement	A.I.
	ii. Extent to which Permitted	2.75 metres measured from	a.	Is there a Specific Design Requirement applicable to this	No
	Encroachments may encroach beyond the Principal Setback	the Principal Setback Line. An exception to this is Steps, which are		Lot? (Terminated Vista, Corner Treatment, Projecting Front,	
	•••••	not restricted.		Laneway Surveillance)	
b	Encroachments into Secondary Setb	ack	13.	Refuse storage enclosures and co	llection
	 Permitted Encroachments into Secondary Setback. 	N/A	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public
	ii. Extent to which Permitted Encroachments may encroach	N/A		D : 10: C .: D : .	view
	into the Secondary Setback		b.	Required Bin Collection Point Location (required by the City of	Yes as per ILP
С.	Encroachments into Side Setback	•••••		Wanneroo)	
	i. Permitted Encroachments into	Eaves, Shade Devices and Attached	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
d.	Side Setback (East and West) Encroachments into Rear Setback.	Fences.	15.	External Fixtures	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into	N/A	16.	Design Outcomes – Additional	Refer - Private Realm Operative
	Rear Setback ii. Extent to which Permitted	N/A	17.	Requirements + Controls Exemptions to Planning	Provisions Refer - Private Realm Operative
	Encroachments may encroach into a Rear Setback		10	Approval No modification of building	Provisions Pofor - Private Pealm Operative
8.	Frontage/ Principal Elevation Requ	uirements	18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Terrace with a Pergola		Developer without Consent	
b.	Permitted Principal Building	Straight Front, Projecting Front, a			
	Elevation Types	Return Verandah, a Projecting Front			
		and a Return Verandah, a Double Return Verandah.			



LOT 258
TRANSECT T4
LOT TYPE Interior
AREA (APPROX M²) 299.5
LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

25.55 Datum and Pad Level (refer Operative Provision No. 5)

+25.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

—-— Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (East)

Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 258 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 258. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Speen	ic negativenes	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A
	••••••••	. .

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.55 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.75 metres from the Principal Boundary , for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within
d.	Side Setback Line (West)	the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre
		from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is located on the Principal
•••••		Setback Line for a distance of 8.0 metres measured from the Side Boundary (East or West)
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setbac	<u>-</u> k
•••••	i. Permitted Encroachments beyond the Principal Setback	Terrace with a Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.75 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
C.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	Terrices.
• • • • • • • •	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Require	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Terrace with a Pergola Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	/e
• • • • • • •	i. Principal Elevation	Nil
• • • • • • • •	ii. Rear Elevation on or adjacent to rear boundary	Nil
•••••	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collect	ion
a.	Required Bin Storage	Storage for 3 bins provided within the
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Lot and screened from public view Yes as per ILP.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 259
TRANSECT T4
LOT TYPE Interior
AREA (APPROX M²) 300
LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Deve

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

[25.74] Datum and Pad Level (refer Operative Provision No. 5)

+25.75 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

—-— Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (East)

Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 259 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 259. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a Pergola.
5	Building Heights	
а.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.74 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acces	SS
a.	Principal Setback Line	Is parallel to and located 3.75 metres from the Principal Boundary, for a length of 8.0 metres measured from	a. b.	Garaging required for this minimum number of cars Additional garaging requirement for	Cottage/ House - 2 bays
b.	Secondary Setback Line	the Side Setback Line within the Lot. N/A		Ancillary Unit	•••••
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
		the Lot.	d. 10.	Permitted Garage Disposition Attached and Sideyard Walling	Rear Direct , Rear Side Stack.
		A portion of one (1) of the Side Setback Lines (East or West) may	a.	Type of Walling required	N/A
		be located on the relevant Side Boundary, for a distance of up to	11.	Privacy	
		12 metres measured from the Rear Boundary.	a.	Privacy Restrictions on 1st floor and ab	• • • • • • • • • • • • • • • • • • • •
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.		i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil Nil
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is located on the Principal Setback Line for a distance of 8.0			 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
		metres measured from the Side Boundary (East or West)	•••••	iv. Secondary Elevation	N/A
g.	BTL Percentage	80% minimum		v. Side Elevation (East)	Open Outlook.
h.	Required Parapet Wall Location	N/A			Openings permitted.Verandahs, terraces and
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.	•••••	vi. Side Elevation (West)	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum
a.	Encroachments beyond Principal Setba	ck			of 4.5m from the Side Boundary unless the Opening:
	i. Permitted Encroachments beyond the Principal Setback	Terrace with a Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the			 is a Celestial Window; or is Screened; or
		principal entrance, Plinths or Piers for the Verandah, Steps, Towers,	12	Consider Position Position and	• is fitted with Opaque Glass.
		Gatehouse, a Terminating Vista Element.	12.	Specific Design Requirement Is there a Specific Design	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.75 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.	a.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
b.	Encroachments into Secondary Setbac	<	13.	Refuse storage enclosures and colle	ction
	i. Permitted Encroachments into Secondary Setback.	N/A	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP.
C.	i. Permitted Encroachments into	Eaves, Shade Devices and Attached	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
d.	Side Setback (East and West) Encroachments into Rear Setback.	Fences.	15.	External Fixtures	Refer - Private Realm Operative Provisions
•••••	i. Permitted Encroachments into	N/A	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
• • • • • • • •	Rear Setback ii. Extent to which Permitted	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
Q	Encroachments may encroach into a Rear Setback	oments	18.	No modification of building elements provided by JIndee	Refer - Private Realm Operative Provisions
8.	Required Private Frontage Type			Developer without Consent	
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Terrace with a Pergola Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.			



LOT 260

TRANSECT 14

LOT TYPE Corner

AREA (APPROX M²) 300

LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Required Sideyard Wall (refer to Operative Provision No. 10)

Build-to-line (BTL) (refer to Operative Provision No. 6)

26.15 Datum and Pad Level (refer Operative Provision No. 5)

+26.00 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Secondary Boundary

3 Side Boundary (East)

4 Side Boundary (West)

5 Rear Boundary

Lot 260 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 260. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

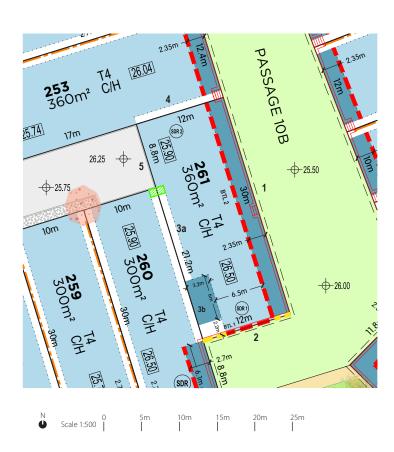
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.90 AHD/ 26.10 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.7 metres from the Principal Boundary, for a length of 6.3 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.7 metres from the Secondary Boundary, for a length of 6.1 metres measured from the Principal Setback Line within the Lot.
C.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.7 metres from the Principal Boundary within the Lot for a length of 6.3 metres, measured from the Side Setback Line (West) as shown on the Plan.
		BTL 2) is parallel to and located 2.7 metres from the Secondary Boundary for a distance of 6.1 metres measured from the Principal Setback Line.
g. h.	BTL Percentage Required Parapet Wall Location	BTL 1) 95% minimum and BTL 2) 100% N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into	2.7 metres measured from the Principal Setback Line.
 h	the Principal Setback Encroachments into Secondary Setback	
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
• • • • • •	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Secondary Setback Line.
 С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirem	ents
a.	Required Private Frontage Type	Verandah
	Permitted Principal Building Elevation	Straight Front, Projecting Front, a Return

9.	DESCRIPTION	REQUIREMENT
	Garaging, Parking and Vehicle Access	
ì.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
).	Additional garaging requirement for Ancillary Unit, if provided	Nil
	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
0.	Attached Fencing and Sideyard Walling	!
١.	Type required	Attached Fence
11.	Privacy	
a. •••••	Privacy Restrictions on 1st floor and above i. Principal Elevation	Nil
• • • • • •	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
		•
	iv. Secondary Elevation v. Side Elevation (East)	N/A Open Outlook
	••••••	• • • • • • • • • • • • • • • • • • • •
	v. Side Elevation (East)	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	••••••	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the
	v. Side Elevation (East)	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of
	v. Side Elevation (East)	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
	v. Side Elevation (East)	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or
	v. Side Elevation (East)	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
	v. Side Elevation (East) vi. Side Elevation (West)	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
A.	v. Side Elevation (East) vi. Side Elevation (West) vi. Side Elevation (West) Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - Corner Treatment or Double Verandah
13.	v. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - Corner Treatment or Double Verandah
13.	v. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - Corner Treatment or Double Verandah Storage for 3 bins provided within the
13. 13.	vi. Side Elevation (East) vi. Side Elevation (West) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection Required Bin Storage Required Bin Collection Point Location	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - Corner Treatment or Double Verandah Storage for 3 bins provided within the Lot and screened from public view
13. h.	v. Side Elevation (East) vi. Side Elevation (West) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - Corner Treatment or Double Verandah Storage for 3 bins provided within the Lot and screened from public view Yes as per ILP. Refer - Private Realm Operative
13. 	vi. Side Elevation (East) vi. Side Elevation (West) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - Corner Treatment or Double Verandah Storage for 3 bins provided within the Lot and screened from public view Yes as per ILP. Refer - Private Realm Operative Provisions Refer - Private Realm Operative
112. 113. 114. 115.	vi. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - Corner Treatment or Double Verandah Storage for 3 bins provided within the Lot and screened from public view Yes as per ILP. Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions



LOT 261 Т4 **TRANSECT** LOT TYPE Edge AREA (APPROX M2) 360 LOT FRONTAGE 12m



Legend

Building Type

- Cottage Type С
- House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Required Sideyard Wall (refer to Operative Provision No. 10) Build-to-line (BTL) (refer to Operative Provision No. 6)

Datum and Pad Level (refer Operative Provision No. 5)

⊕ 26 25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

No Vehicular Access

Indicative Services Area

Principal Boundary Secondary Boundary

Side Boundary (West)

Side Boundary (North)

Rear Boundary

Lot 261 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 261. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Sideyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.90 AHD/ 26.50 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Access	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 30.0 metres measured from the	a. b.	Garaging required for this minimum number of cars Additional garaging requirement for	Cottage/ House - 2 bays Nil
b.	Secondary Setback Line (South)	Secondary Boundary within the Lot. Is parallel to and located on the Secondary Boundary (South), for a length of 6.5 metres measured from the Principal Setback Line within the Lot.	c. d.	Ancillary Unit, if provided Lot boundaries where Vehicle Access is prohibited Permitted Garage Disposition	Principal Boundary, Secondary Boundary, Side Boundary (North and West) Rear Direct, Rear Back Court.
С.	Side Setback Line (North)	Is parallel on the Side Boundary (North) within the Lot.	10.	Attached Fence and Sideyard Walling	
d.	Side Setback Line (West)	3a) is parallel to and located 1.0 metre from the Side Boundary (West) for a length of 13 metres measured from the Rear Boundary, within the Lot.	a. 11. a.	Type required Privacy Privacy Restrictions on 1st floor and above i. Principal Elevation	Sideyard Walls Nil
		3b) is parallel to and located 3.2 metres from the Side Boundary (West) for a length of 8.2 metres measured from the Principal Boundary, within the Lot.		Rear Elevation on or adjacent to rear boundary Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback
		A portion of the Side Setback Line (3a) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.			2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies
e. 	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary within the Lot. Yes. BTL 1) is parallel to and located on			to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
1.	build-to-tille (bTE) Location	the Secondary Boundary within the Lot for a length of 6.5 metres, measured from the Principal Setback Line as shown on the Plan.		iv. Secondary Elevation v. Side Elevation (North)	Nil Open Outlook
		BTL 2) is parallel to and located 2.35 metres from the Principal Boundary for a distance of 30 metres measured from the Secondary Boundary.			 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
g. h.	BTL Percentage Required Parapet Wall Location	BTL 1) 95% minimum and BTL 2) 95% N/A	•••••	vi. Side Elevation (West)	Restricted Outlook
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances			Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
a.	Encroachments in Principal Setback	and limitations of any retaining walls.			 is Screened; or is fitted with Opaque Glass.
	i. Permitted Encroachments into Principal Setback	Verandahs, Projecting Fronts, Balconies, Eaves, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps.	12.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated	Yes -Two required (mandated) SDR's.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.		Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	SDR 1) Is mandated being a Gable End. SDR 2) Is mandated being a Gable End to the same width and height as SDR 1.
b.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	N/A			On Lot 261 each Projecting Front is required to have a minimum width of 4.0 metres, and not exceed 6.0 metres. Each Projecting Front is required to be
	Encroachments into Side Setback	N/A			setback a minimum of 3.0 metres, and not exceed 4.0 metres from each end of the Principal Elevation with a Gable End that is the same for each projection. The width, height and setback of each
	i. Permitted Encroachments into Side Setback (North)	N/A			Projecting Front are required to mirror each other.
d.	Encroachments into Side Setback i. Permitted Encroachments into Side		13. a.	Refuse storage enclosures and collectio Required Bin Storage	Storage for 3 bins provided within the
e.		Fences.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Lot and screened from public view Yes as per ILP.
8.	 i. Permitted Encroachments into Rear Setback Frontage/ Principal Elevation Requirem 	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Verandah	15.	External Fixtures	Refer - Private Realm Operative Provisions
b.	Permitted Principal Building Elevation Types	Double Projecting Front.	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
			17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
			18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 283

TRANSECT 14

LOT TYPE Corner

AREA (APPROX M²) 401

LOT FRONTAGE 15.5m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

27.47 Datum and Pad Level (refer Operative Provision No. 5)

+26.00 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Secondary Boundary

3 Side Boundary (North)

4 Side Boundary (South)

5 Rear Boundary

Proposed Light Pole Location

Lot 283 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 283. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	75%
Permitted Building Type	Cottage, House
Lot Type Designation	Corner Lot
Permitted Building Dispositions	Edgeyard, Courtyard
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Type Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.47 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Require	ements
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a	a.	Required Private Frontage Type	Verandah
		length of 12.15 metres measured from the Secondary Setback Line within the Lot.	b.	Permitted Principal Building Elevation Types	Double Return Verandah, a Return Verandah, a Projecting Front and a
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary, for a	9.	Garaging, Parking and Vehicle Acces	Return Verandah. s
		length of 9.45 metres measured from the Principal Setback Line within the Lot.	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
С.	Side Setback Line (North)	Is parallel to and located on the Side Boundary (North) within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South)	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South).
		within the Lot.	d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
		A portion of the Side Setback Line (South) may be located on the	10.	Attached Fence and Sideyard Walling	g
		relevant Side Boundary, for a distance	a.	Type required	Attached Fence
		of up to 8.0 metres measured from the Rear Boundary.	11.	Privacy	
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.	a.	Privacy Restrictions on 1st floor and abo	• • • • • • • • • • • • • • • • • • • •
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length	•••••	Principal Elevation Rear Elevation on or adjacent to rear boundary	Nil Nil
		of 12.65 metres, measured from the Side Setback Line (South) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 9.45 metres measured from the Principal		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
g. h.	BTL Percentage Required Parapet Wall Locaiton	Setback Line. BTL 1) 80% minimum and BTL 2) 100%. N/A			Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		iv. Secondary Elevation v. Side Elevation (North) vi. Side Elevation (South)	Nil Restricted Outlook Openings to be setback a minimum
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.	12.	Specific Design Requirement	of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner	Yes - Corner Treatment For Lot 283, the receding portion
b.	Encroachments into Secondary Setbacl i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the		Treatment, Projecting Front, Laneway Surveillance)	of the permitted principal building elevation type is not contained within the Principal Building Envelope, and is located within the Encroachment Zone.
		principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a	13.	Refuse storage enclosures and collect	tion
•••••	ii. Extent to which Permitted	Terminating Vista Element. 2.35 metres measured from the	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
	Encroachments may encroach into the Secondary Setback Encroachments into Side Setback	Secondary Setback Line.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per LDP 9.
	i. Permitted Encroachments into Side Setback (North)	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
d.	Encroachments into Side Setback	••••	15.	External Fixtures	Refer - Private Realm Operative
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.	16.	Design Outcomes – Additional	Provisions Refer - Private Realm Operative
е.	Encroachments into Rear Setback.	•••••		Requirements + Controls	Provisions
	i. Permitted Encroachments into Rear Setback	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
			18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 284
TRANSECT T4
LOT TYPE Edge
AREA (APPROX M²) 360
LOT FRONTAGE 12m



Legend

Building Type

- Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

27.05 Datum and Pad Level (refer Operative Provision No. 5)

+26.00 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Side Boundary (North)

a+3b Side Boundary (South)

4 Rear Boundary

Proposed Light Pole Location

Lot 284 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 284. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

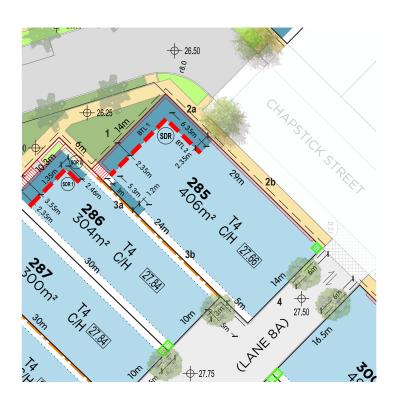
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
а.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.05 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Req	uirements
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal	a.	Required Private Frontage Type	Verandah
		Boundary, for a length of 8.65 metres measured from the Side Setback Line (North) within the Lot.	b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.
b.	Secondary Setback Line	N/A	9.	Garaging, Parking and Vehicle Acc	cess
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North)	a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
		within the Lot. A portion of one (1) of the Side	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
		Setback Lines (North) may be located on the relevant Side	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
		Boundary, for a distance of up to 12 metres measured from the Rear Boundary.	d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
d.	Side Setback Line (South)	3a) is parallel to and located 2.35	10.	Attached Fence and Sideyard Wall	
u.	side setback Line (south)	metres from the Side Boundary (South) within the Lot, for a length	a. 11.	Type required Privacy	Attached Fence
		of 2.0 metres measured from the Principal Setback Line, and	a.	Privacy Restrictions on 1st floor and a	above
		3b) is parallel to and located on the Side Boundary (South), within the Lot.		Principal Elevation Rear Elevation on or adjacent to rear boundary	Nil Nil
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.	•••••	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.65 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan, and BTL 2) is parallel to and located 2.35			terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
		metres from the Side Boundary (South) within the Lot for a length of 2.0 metres measured from the Principal Setback Line.		iv. Secondary Elevation v. Side Elevation (North)	minimum of 4.5m from a Side Boundary, unless Screened. N/A Open Outlook
g. h. 7.	BTL Percentage Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances		vi. Side Elevation (South)	Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil
		and limitations of any retaining walls.	12.	Specific Design Requirement	
a.	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment
		for the Verandah, Steps, Towers, a Terminating Vista Element.	13.	Refuse storage enclosures and col	llection
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Encroachments into Side Setback (N i. Permitted Encroachments into Side Setback (North)	orth) Eaves, Shade Devices and Attached Fences.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
 С.	Encroachments into Side Setback (So	•••••	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Side Setback (South)	3a) Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to	15.	External Fixtures	Refer - Private Realm Operative Provisions
		define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
		Element 3b) N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
•••••	ii. Extent to which Permitted Encroachments may encroach into the Side Setback	3a) 2.35 metres measured from the Side Setback Line.	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	3b) N/A N/A			







Legend

Building Type

- c Cottage Type
- **H** House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

27.66 Datum and Pad Level (refer Operative Provision No. 5)

♦27.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

1 Principal Boundary

2a+2b Secondary Boundary

a+3b Side Boundary

4 Rear Boundary

Proposed Light Pole Location

Lot 285 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 285. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

-6-611	ie nequirements	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.66 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Rec	quirements
a.	Principal Setback Line	Is parallel to and 2.35 metres from the Principal Boundary, for a length of 10.45 metres measured from the Secondary Setback Line (2a) within the Lot.	a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double
b. S	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.			Return Verandah and a Double Projecting Front.
		2b) is parallel to and located on the	9. a.	Garaging, Parking and Vehicle Ad Garaging required for this	Cottage/ House - 2 bays
C.	Side Setback Line (West)	Secondary Boundary within the Lot. 3a) is parallel to and located 1.2 metres from the Side Boundary (West) within the Lot, for a length of 6.3 metres measured	b.	minimum number of cars Additional garaging requirement for Ancillary Unit, if provided	Nil
		from the Principal Setback Line. 3b) is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West) and a portion of the Rear Boundary as depicted on the Plan.
		A portion of the Side Setback Line	d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
		(West) may be located on the relevant	10.	Attached Fencing and Sideyard V	
		Side Boundary, for a distance of up to 12 metres measured from the Rear	a.	Type required	Attached Fence
		Boundary.	11.	Privacy	
d.	Side Setback Line	N/A	a.	Privacy Restrictions on 1st floor and	• • • • • • • • • • • • • • • • • • • •
e.	Rear Setback Line	Is located on the Rear Boundary		i. Principal Elevation	Nil
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary		ii. Rear Elevation on or adjacent to rear boundary	Nil
		within the Lot for a length of 10.45 metres, measured from the Side Setback Line 3a (West) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		for a distance of 6.35 metres measured from the Principal Setback Line.			Verandahs, terraces and Balconies to
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%			be setback a minimum of 4.5m from a Side Boundary, unless Screened.
h.	Required Parapet Wall Location	N/A	•••••	iv. Secondary Elevation	Nil
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take	•••••	v. Side Elevation (North)	N/A
		into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.	•••••	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of
a.	Encroachments in Principal Setbacl				4.5m from the Side Boundary unless the
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.			Opening:is a Celestial Window; oris Screened; oris fitted with Opaque Glass.
• • • • • • • • • • • • • • • • • • • •	ii. Extent to which Permitted	2.35 metres measured from the Principal	12.	Specific Design Requirement	
	Encroachments may encroach into the Principal Setback Encroachments into Secondary Set	Setback Line.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner	Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or Double Verandah.
	i. Permitted Encroachments	2a) Verandahs, Balconies, Eaves, Projecting		Treatment, Projecting Front, Laneway Surveillance)	
	into Secondary Setback	Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for	13.	Refuse storage enclosures and co	ollection
		the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
•••••	ii. Extent to which Permitted	2b) N/A 2a) 2.35 metres measured from the	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
	Encroachments may encroach into the Secondary Setback	Principal Setback Line. 2b) N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
C.	Encroachments into Side Setback		15.	External Fixtures	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Side Setback (West)	3a) Verandah, Portico, Gatehouse	16.	Design Outcomes – Additional	Refer - Private Realm Operative
•••		3b) Eaves, Shade Devices and Attached Fences.	17.	Requirements + Controls Exemptions to Planning	Provisions Refer - Private Realm Operative
	ii. Extent to which Permitted Encroachments may	3a) 1.2 metres measured from the Side Setback Line 3a for a length of 5.3m		Approval	Provisions
	encroach into the Side Setback (West)	measured 1.0 metre from the Principal Setback Line.	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
	Francisco de la Carta de Carta	3b) N/A			
d.	i. Permitted Encroachments	N/A			
	into Rear Setback				



LOT 286

TRANSECT T4

LOT TYPE Corner

AREA (APPROX M²) 304

LOT FRONTAGE 10.3m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

27.84 Datum and Pad Level (refer Operative Provision No. 5)

+27.75 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Special Design Response - Private Landscaping

Entry Steps

Indicative Retaining Wall Locations

— Retaining Wall Type 2

No Vehicular Access

Indicative Services Area

Principal Boundary

Secondary Boundary

3 Side Boundary (East)

4 Side Boundary (West)

5 Rear Boundary

Proposed Light Pole Location

Lot 286 forms part of the Stage 1 Local Development Plan (LDP) Area. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 286. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

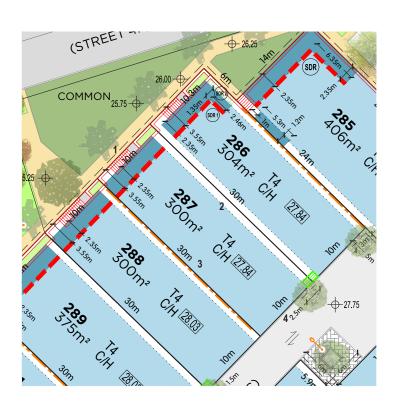
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	•
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.84 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Access	;
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 6.95 metres measured from the Secondary Setback Line within	a. b.	Garaging required for this minimum number of cars Additional garaging requirement for Ancillary Unit, if provided	Cottage/ House - 2 bays Nil
b.	Secondary Setback Line	the Lot. Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (East and West) and a portion of the rear boundary as depicted on the Plan.
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within	d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
	C: d = C = th = el : 1 := = (\A/==t)	the Lot.	10.	Attached Fencing and Sideyard Walli	Attached Fence
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	a. 11.	Type required Privacy	Attached Perice
		A portion of the Side Setback Line (West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.	a. ••••••	Privacy Restrictions on 1st floor and about. i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	ve Nil Nil
 е.	Rear Setback Line	Is located on the Rear Boundary	•••••	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandalis or terrases) to be
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 6.95 metres, measured from the Side Setback Line (West) as shown on the Plan. BTL 2) is parallel to and located 2.35			Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
		metres from the Secondary Boundary within the Lot for a length of 2.46		•••••	Screened.
		metres measured from the Principal Setback Line.	•••••	iv. Secondary Elevation v. Side Elevation (East)	Nil Open Outlook
g.	BTL Percentage	BTL1) 80% minimum and BTL 2) 100%			Openings permitted.
h. 7.	Requirement for a Parapet Wall Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback			 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
		must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.	•••••	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum
a	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a			of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
• • • • • • • •	ii. Extent to which Permitted	Terminating Vista Element. 2.35 metres measured from the	12.	Specific Design Requirement	Vos Turo required (mandated) CDD/s
b.	Encroachments may encroach into the Principal Setback Encroachments into Secondary Setbac i. Permitted Encroachments into	Principal Setback Line. k Verandahs, Balconies, Eaves,	а.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes -Two required (mandated) SDR's. SDR 1) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
	Secondary Setback.	Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a			SDR 2) A 1.0m wide landscaping strip along the Secondary Boundary within the Lot.
		Terminating Vista Element.	13.	Refuse storage enclosures and collec	tion
	ii. Extent to which Permitted Encroachments may encroach	1.35 metres measured from the Secondary Setback Line.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
С.	into the Secondary Setback Encroachments into Side Setback		b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, shade devices and Attached Fences.	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A	15.	External Fixtures	Refer - Private Realm Operative Provisions
8.	Rear Setback Frontage/ Principal Elevation Requirements	rements	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Verandah.	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 287
TRANSECT 74
LOT TYPE Interior
AREA (APPROX M²) 299.5
LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

27.84 Datum and Pad Level (refer Operative Provision No. 5)

+27.75 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

——— Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Side Boundary (East)

3 Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 287 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 287. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot

Edgeyard, Courtyard

Permitted Building Dispositions

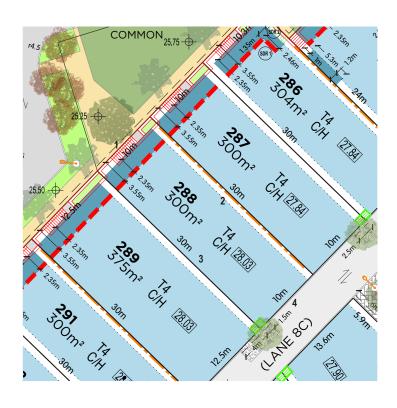
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metre
C.	Lot Datum (from which Building Height is measured)	27.84 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 9 metres measured from the Side Boundary (West) within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	75% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setb. i. Permitted Encroachments into	ack N/A
	Secondary Setback	•••••
C.	Encroachments into Side Setback Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
	Encroachments into Rear Setback.	Tenecs.
·····	Permitted Encroachments into Rear Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	
а.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.

	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard W	/alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
	vi. Side Elevation (West)	Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
12.	Specific Design Requirement	 is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
17.		Refer - Private Realm Operative



LOT 288
TRANSECT T4
LOT TYPE Interior
AREA (APPROX M²) 299.5
LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type

(SDR)

Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

28.03 Datum and Pad Level (refer Operative Provision No. 5)

+25.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

——— Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (East)

3 Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 288 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 288. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metre
C.	Lot Datum (from which Building Height is measured)	28.03 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Ac	cess
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal	a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
		Boundary, for a length of 9 metres measured from the Side Boundary (West) within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b.	Secondary Setback Line	N/A	С.	Lot boundaries where Vehicle	Principal Boundary, Side Boundary
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East)		Access is prohibited	(East and West) and a portion of the Rear Boundary as depicted on the Plan.
		within the Lot.	d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.	10.	Attached Fencing and Sideyard W	
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.	a. 11.	Type required Privacy	Attached Fence
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Boundary (West) as shown on the Plan.	a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	above Nil Nil
g. h. 7.	BTL Percentage Required Parapet Wall Location Permitted Encroachments	75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
a.	Encroachments beyond Principal Set	back	•••••	iv. Secondary Elevation	N/A
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.		v. Side Elevation (East)	Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless
••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.	•••••	vi. Side Elevation (West)	Screened. Restricted Outlook
b	Encroachments into Secondary Setba Permitted Encroachments into Secondary Setback.	n/A			Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A			is a Celestial Window; oris Screened; oris fitted with Opaque Glass.
С.	Encroachments into Side Setback		12.	Specific Design Requirement	
d.	 i. Permitted Encroachments into Side Setback (East) Encroachments into Rear Setback. i. Permitted Encroachments into 	Eaves, Shade Devices and Attached Fences. N/A	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
	Rear Setback		13.	Refuse storage enclosures and co	llection
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
 8.	Frontage/ Principal Elevation Requ		b.	Required Bin Collection Point	N/A
a.	Required Private Frontage Type	Verandah	D.	Location (required by the City of Wanneroo)	19/1
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
			15.	External Fixtures	Refer - Private Realm Operative Provisions
			16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
			17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
			18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 289

TRANSECT 74

LOT TYPE Interior

AREA (APPROX M²) 375

LOT FRONTAGE 12.5m



Legend

Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

28.03 Datum and Pad Level (refer Operative Provision No. 5)

+25.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (East)

3 Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 289 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 289. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

e.

Required Terrace Grouping

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
а.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	•••••

N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.03 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 11.5 metres measured from the Side Boundary (West) within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East)
d.	Side Setback Line (West)	within the Lot. Is parallel to and located on the Side Boundary (West) within the
e.	Rear Setback Line	Lot. Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 11.5 metres, measured from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	75% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b	i. Permitted Encroachments into	ack N/A
	Secondary Setback. ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (East) Encroachments into Rear Setback.	Eaves, Shade Devices and Attached Fences.
u.	Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
	1 - 4 l \ / - l- ! - l -	Principal Boundary, Side Boundary
С.	Lot boundaries where Vehicle Access is prohibited	(East and West) and a portion of the Rear Boundary as depicted on the Plan.

a. 1	Attached Fencing and Sideyard Wa Type required Privacy	Illing Attached Fence	
11. I		Attached Fence	
	Privacy		
a. F			
	Privacy Restrictions on 1st floor and ab	oove	
i	. Principal Elevation	Nil	
i	i. Rear Elevation on or adjacent to rear boundary	Nil	
i	ii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;	
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.	
i 	v. Secondary Elevation	N/A	
\	v. Side Elevation (East)	Open Outlook.	
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 	
\	vi. Side Elevation (West)	Restricted Outlook	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		is a Celestial Window; oris Screened; or	
		• is fitted with Opaque Glass.	
12.	Specific Design Requirement		
F L	s there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A	
13. F	Refuse storage enclosures and colle	ection	
a. f	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
L	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14. l	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15. I	External Fixtures	Refer - Private Realm Operative Provisions	
	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
•	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	



LOT 290
TRANSECT T4
LOT TYPE Interior
AREA (APPROX M²) 360
LOT FRONTAGE 12m



Legend

Building Type

- C Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.27 Datum and Pad Level (refer Operative Provision No. 5)

 +24.25
 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

1 Principal Boundary

Side Boundary (East)Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 290 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 290. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

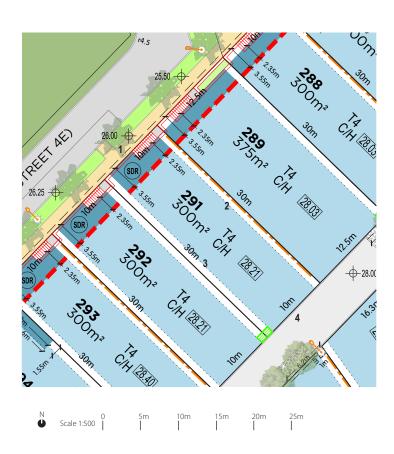
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
а.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.27 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acc	cess
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, for	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		a length of 10 metres measured from the Side Setback Line within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b.	Secondary Setback Line	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
C.	Side Setback Line (East)		d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
			10.	Attached Fence and Sideyard Wal	ling
		A portion of one (1) of the Side Setback Lines (East or West) may	a.	Type required	Attached Fence
		be located on the Side Boundary,	11.	Privacy	
		for a distance of up to 12 metres measured from the Rear Boundary.	a.	Privacy Restrictions on 1st floor and	above
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre	•••••	i. Principal Elevation	Nil
		from the Side Boundary (West) within the Lot.	•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
e.	Rear Setback Line	A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is located on the Rear Boundary		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (East or West) as			Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
		shown on the Plan.		iv. Secondary Elevation (South)	N/A
g	BTL Percentage	80% minimum		v. Side Elevation (East)	Open Outlook
h.	Requirement for a Parapet Wall	N/A			 Openings permitted.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
a.	Encroachments in Principal Setback	Ordry recurring violati		vi. Side Elevation (West)	Restricted Outlook
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista			Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
		Element			• is fitted with Opaque Glass.
•••••	ii. Extent to which Permitted	2.9 metres measured from the	12.	Specific Design Requirement	
	Encroachments may encroach into the Principal Setback	Principal Setback Line.	a.	Is there a Specific Design	Yes - Projecting Front (location of
b.	Encroachments into Secondary Setba	eck		Requirement applicable to this Lot? (Terminated Vista, Corner	Specific Design Requirement is depicted on the attached plan as
•••••	i. Permitted Encroachments into	••••••••••••		Treatment, Projecting Front,	a SDR)
	Secondary Setback		12	Laneway Surveillance)	llostion.
C.	Encroachments into Side Setback		13.	Refuse storage enclosures and co	
	i. Permitted Encroachments into Side Setback (East and West)		a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
d.	Encroachments into Rear Setback. i. Permitted Encroachments into		b.	Required Bin Collection Point Location (required by the City of Wanneroo)	No.
8.	Rear Setback Frontage/ Principal Elevation Requ	uirements	14.	Landscaping + Street Trees	Refer - Private Realm Operative
a.	Required Private Frontage Type	Verandah.	15.	External Fixtures	Provisions Refer - Private Realm Operative
b.	Permitted Principal Building Elevation Types	Projecting Front, a Projecting Front and a Return Verandah, and a Double Projecting Front.	16.	Design Outcomes – Additional	Provisions Refer - Private Realm Operative
	Lieranon rypes		17.	Requirements + Controls Exemptions to Planning	Provisions Refer - Private Realm Operative
			18.	Approval No modification of building	Provisions Refer - Private Realm Operative
				elements provided by Jindee Developer without Consent	Provisions



LOT 291 **TRANSECT** Т4 LOT TYPE Interior AREA (APPROX M2) 300 LOT FRONTAGE 10m



Legend

Building Type

- Cottage Type С
- House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

28.21 Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

No Vehicular Access

Indicative Services Area Principal Boundary

Side Boundary (East)

Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 291 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 291. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

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ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. A Principal Boundary retaining wall and internal stair plinth as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.21AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Re	equirements
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side	a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front
	•••••	Setback Line within the Lot.	9.	Garaging, Parking and Vehicle A	Access
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0	a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
-		metre from the Side Boundary (East) within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
		Boundary, for a distance of up to 12 metres measured from the	d. 10.	Permitted Garage Disposition Attached Fencing and Sideyard	Rear Direct , Rear Side Stack.
		Rear Boundary.	a.	Type required	Attached Fence
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	11.	Privacy	Attached Fence
		A portion of one (1) of the Side	a.	Privacy Restrictions on 1st floor an	d above
		Setback Lines (East or West) may be located on the relevant Side		i. Principal Elevation	Nil
		Boundary, for a distance of up to 12 metres measured from the Rear Boundary.		ii. Rear Elevation on or adjacent to rear boundary	Nil
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.			from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
g.	BTL Percentage	80% minimum			Screened.
h.	Required Parapet Wall Location	N/A		iv. Secondary Elevation	N/A
7.	Permitted Encroachments	The extent to which any		v. Side Elevation (East)	Open Outlook.
		Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
a.	Encroachments beyond Principal S	• • • • • • • • • • • • • • • • • • • •	•••••	vi. Side Elevation (West)	Restricted Outlook
	i. Permitted Encroachments beyond the Principal Setback	Eaves, Bay Windows, Pergola Balcony			Openings to be setback a minimum of 4.5m from the Side
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.55 metres measured from the Principal Setback Line, within the Permitted Encoachment Zone as			Boundary unless the Opening: • is a Celestial Window; or
	•••••	shown on the Plan.			 is Screened; or is fitted with Opaque Glass.
b.	Encroachments into Secondary Se	••••••	12.	Specific Design Requirement	
	 i. Permitted Encroachments into Secondary Setback. 	N/A	a.	Is there a Specific Design	Yes - Gable End (location of
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Sethack	N/A		Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
С.	Encroachments into Side Setback		13.	Refuse storage enclosures and o	collection
•••••	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
d.	Encroachments into Rear Sethack	N/A	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
	into Rear Setback	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback		15.	External Fixtures	Refer - Private Realm Operative Provisions
•••••	Seeduck		16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
			17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
			18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 292 Т4 **TRANSECT** LOT TYPE Interior AREA (APPROX M2) 299.5 LOT FRONTAGE 10m



Legend

Building Type

- Cottage Type С
- House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

28.21 Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (East)

Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 292 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 292. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

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ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM DESCRIPTION		DESCRIPTION	REQUIREMENT
	4	Plinths	
	a.	Is a Plinth required for this Lot?	Yes
	b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. A Principal Boundary retaining wall and internal stair plinth as shown on plan.
	C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
	d.	Required building element to attach to the Plinth	Terrace with a pergola
	5	Building Heights	
	a.	Maximum No of Storeys	2 storeys plus loft
	b.	Maximum External Wall Height	7.5 metres
	C.	Lot Datum (from which Building Height is measured)	28.21 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Re	equirements
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side	a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front
	•••••	Setback Line within the Lot.	9.	Garaging, Parking and Vehicle A	Access
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
-		metre from the Side Boundary (East) within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
		Boundary, for a distance of up to 12 metres measured from the	d. 10.	Permitted Garage Disposition Attached Fencing and Sideyard	Rear Direct , Rear Side Stack.
		Rear Boundary.	a.	Type required	Attached Fence
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	11.	Privacy	Attached Lence
		A portion of one (1) of the Side	а.	Privacy Restrictions on 1st floor an	d above
		Setback Lines (East or West) may be located on the relevant Side		i. Principal Elevation	Nil
		Boundary, for a distance of up to 12 metres measured from the Rear Boundary.		ii. Rear Elevation on or adjacent to rear boundary	Nil
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.			from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
g.	BTL Percentage	80% minimum			Screened.
h.	Required Parapet Wall Location	N/A		iv. Secondary Elevation	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach		v. Side Elevation (East)	Open Outlook.
		into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
a.	Encroachments beyond Principal S	••••••	•••••	vi. Side Elevation (West)	Restricted Outlook
	i. Permitted Encroachments beyond the Principal Setback	• • • • • • • • • • • • • • • • • • • •			Openings to be setback a minimum of 4.5m from the Side
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.55 metres measured from the Principal Setback Line, within the Permitted Encroachment Zone as			Boundary unless the Opening: • is a Celestial Window; or
	•••••	shown on the Plan.			 is Screened; or is fitted with Opaque Glass.
b.	Encroachments into Secondary Se	••••••	12.	Specific Design Requirement	
• • • • • • • • • • • • • • • • • • • •	i. Permitted Encroachments into Secondary Setback.	N/A	a.	Is there a Specific Design	Yes - Gable End (location of
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A		Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
С.	Encroachments into Side Setback		13.	Refuse storage enclosures and o	collection
•••••	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
d.	Encroachments into Rear Sethack	N/A	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
	into Rear Setback		14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A	15.	External Fixtures	Refer - Private Realm Operative Provisions
•••••	Seeduck		16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
			17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
			18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



293 LOT Т4 **TRANSECT** LOT TYPE Interior AREA (APPROX M2) 299.5 LOT FRONTAGE 10m



Legend

Building Type

- Cottage Type С
- House Type

Specific Design Requirements (refer to Operative Provision No.12) (SDR)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

[28.40] Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (East)

Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 293 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 293. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

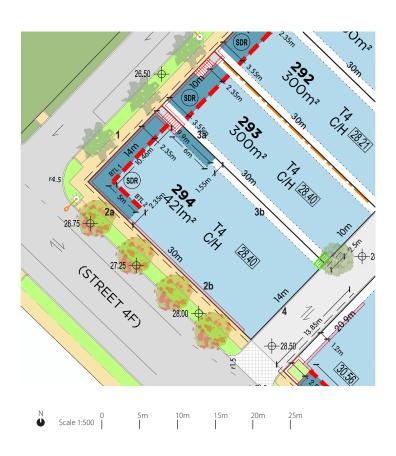
	•	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. A Principal Boundary retaining wall and internal stair plinth as shown on plan.	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Terrace with a pergola	
5	Building Heights		
а.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum External Wall Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	28.40 AHD	

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle A	access
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boudary as depicted on the Plan.
		(East) within the Lot. A portion of the Side Setback	d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
		Lines (East) may be located on the relevant Side Boundary,	10.	Attached Fencing and Sideyard Type required	Walling Attached Fence
		for a distance of up to 12 metres measured from the Rear	a. 11.	Privacy	Attached refice
d.	Side Setback Line (West)	Boundary. Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	a	Privacy Restrictions on 1st floor an i. Principal Elevation	Nil
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.		ii. Rear Elevation on or adjacent to rear boundary	NII
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.		iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback
g.	BTL Percentage	80% minimum			a minimum of 4.5m from
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		iv. Secondary Elevation	a Side Boundary, unless Screened. N/A
				v. Side Elevation (East)	Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback
a.	Encroachments beyond Principal S Permitted Encroachments beyond the Principal Setback Extent to which Permitted Encroachments may encroach beyond the Principal Setback	Eaves, Bay Windows, Pergola, Balcony 3.55 metres measured from the Principal Setback Line, within the Permitted Encroachment Zone as shown on the Plan.		vi. Side Elevation (West)	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
b.	Encroachments into Secondary Se	•••••			is a Celestial Window; oris Screened; or
	i. Permitted Encroachments into Secondary Setback.	N/A 			• is fitted with Opaque Glass.
 C.	Encroachments into Side Setback	N/A	12. a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	Yes - Gable End (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
••••••	i. Permitted Encroachments into Side Setback (East and	Eaves, Shade Devices and Attached Fences.	13.	Laneway Surveillance) Refuse storage enclosures and of	collection
d.	West)		a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from
	Permitted Encroachments into Rear Setback Extent to which Permitted	N/A N/A	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	public view N/A
	Encroachments may encroach beyond the Rear Setback		14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
8.	Frontage/ Principal Elevation Re	quirements	15.	External Fixtures	Refer - Private Realm Operative Provisions
а. b.	Required Private Frontage Type Permitted Principal Building	Verandah Straight Front	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
	Elevation Types	5 · · ·	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
			18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

- Cottage Type С
- House Type



Specific Design Requirements (refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6) [28.40] Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

No Vehicular Access

Indicative Services Area

Principal Boundary

Secondary Boundary

Side Boundary (East)

Rear Boundary

Proposed Light Pole Location

Lot 294 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 294. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Required Terrace Grouping

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
а.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard

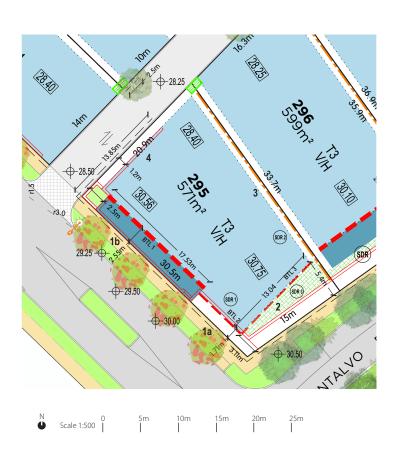
N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.40 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Requi	
	Principal Setback Line	Is parallel to and located 2.35 metres	a.	Required Private Frontage Type	Verandah
a.	Timepai Setoack Enie	from the Principal Boundary, for a length of 10.46 metres measured from the Secondary Setback Line within the Lot.	b.	Permitted Principal Building Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, Double Return Verandah
ь.	Secondary Setback Line	2a) Is parallel to and located	9.	Garaging, Parking and Vehicle Acce	SS
	Secondary Secondaria	2.35 metres from the Secondary Boundary within the Lot, for a distance of 5.0 metres measured from the Principal Setback Line. 2b) Is parallel to and located on the	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
			b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
	Cida Catha al Lina (Fast)	Secondary Boundary within the Lot.	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East)
C.	Side Setback Line (East)	3a) Is parallel to and located 1.55 metres from the Side Boundary (East) within the Lot.	d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
		3b) Is parallel to and located 1.0m	10.	Attached Fencing and Sideyard Wal	
		from the Side Boundary (East) with the lot for a length of 20.1m	a. 11.	Type required Privacy	Attached Fence
		measured from the Rear Boundary.	a.	Privacy Restrictions on 1st floor and ab	oove
		A portion of the Side Setback Lines (East) may be located on the relevant	•••••	i. Principal Elevation	Nil
		Side Boundary, for a distance of up to 12 metres measured from the Rear	•••••	· · ·····	Nil
		Boundary.	•••••	iii. Rear elevation internal to a Lot	Openings (other than Balconies,
d.	Side Setback Line	N/A		Near elevation memarità a zot	Verandahs or terraces) to be
e	Rear Setback Line	Is located on the Rear Boundary within the Lot.			setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or
f.	Build-to-Line (BTL) Location	Yes. BTL1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.46 metres, measured from the Side Boundary (East) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary			 opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
			•••••	iv. Secondary Elevation	Nil
			•••••	v. Side Elevation (East)	Open Outlook.
		Boundary 2a within the Lot for a length of 5.0 metres measured from			Openings permitted.
		the Principal Setback Line.			Verandahs, terraces and
g.	BTL Percentage	BTL 1) 75% minimum and BTL 2) 100%			Balconies to be setback a minimum of 4.5m from the Side
h.	Required Parapet Wall Location	N/A			Boundary, unless Screened.
7.	Permitted Encroachments	The extent to which any Encroachment	•••••	vi. Side Elevation	N/A
		can encroach into any setback must take into account the BCA (as	12.	Specific Design Requirement	
		amended from time to time) and engineering tolerances and limitations of any retaining walls.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached
a.	a. Encroachments beyond Principal Setback			Surveillance)	plan as 'SDR').
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.	13.	Refuse storage enclosures and colle	ection
			a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
b.	Encroachments into Secondary Setba	ck	14.	Landscaping + Street Trees	Refer - Private Realm Operative
	i. Permitted Encroachments into Secondary Setback	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal	15.	External Fixtures	Provisions Refer - Private Realm Operative Provisions
		entrance, Plinths or Piers to the Verandah, Steps.	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
	ii. Extent to which Permitted	2b) N/A 2a) 2.35 metres measured from the	17.	Exemptions to Planning Approval	Refer - Private Realm Operative
	Encroachments may encroach beyond the Secondary Setback	Secondary Setback Line.	18.	No modification of building	Provisions Refer - Private Realm Operative
 C.	Encroachments into Side Setback	2b) N/A		elements provided by Jindee Developer without Consent	Provisions
•••••	i. Permitted Encroachments into Side Setback (East)	3a) Verandah, Portico and Gatehouse.			
		3b) Eaves, Shade Devices and Attached Fences.			
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Side Setback (East)	3a) 1.55 metres measured from the Secondary Setback Line 3a.			
		3b) N/A			
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A			







Legend

Building Type

- v Villa Type
- H House Type

Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

30.75 Datum and Pad Level (refer Operative Provision No. 5)

♦30.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Special Design Response - Private Landscaping

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

+1b Principal Boundary

Secondary Boundary

3 Side Boundary (East)

4 Rear Boundary

*- Proposed Light Pole Location

Lot 295 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 295. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT	
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
C.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
C.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	65%	
b.	Permitted Building Types	Villa, House	
C.	Lot Type Designation	Edge Lot	
d.	Permitted Building Dispositions		
e.	Required Terrace Grouping	N/A	

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.40 AHD, 30.56 AHD, 30.75 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Require	ements
a.	Principal Setback Line	1a) Is parallel to and located 1.71 metres from the Principal Boundary (1a) within the Lot, for a distance of 7.65 metres measured from the Secondary Setback Line.	a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types Garaging, Parking and Vehicle Access	Verandah Straight Front
		1b) Is parallel to and located 2.55 metres from Principal Boundary within the Lot for a distance of 17.53 metres measured 2.5 metres from the Rear Boundary.	a.	Garaging, Farking and vertice Access Garaging required for this minimum number of cars	Villa/ House - 2 bays
			b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b.	Secondary Setback Line	Is perpendicular to the Principal Boundary, measured 1.71 metres from the Principal Boundary and 3.11 metres from the Secondary Boundary for a length of 13.04 metres as	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East) and a portion of the Rear Boundary as depicted on the Plan.
· · · · · · · · · · · · · · · · · · ·	Side Setback Line (East)	depicted on the Plan. Is parallel to and located 1.0 metre	d.	Permitted Garage Disposition	Rear Direct , Rear Back Court, Rear Side Stack, Rear Side Court.
C.	Side Setback Line (Last)	from the Side Boundary (East) within the Lot.	10. a.	Attached Fencing and Sideyard Walli Type required	Attached Fence
d.	Side Setback Line	N/A	11.	Privacy	
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is parallel to and located 1.2 metre from the rear boundary within the Lot as depicted on the Plan. Yes. BTL1) is parallel to and located	a.	Privacy Restrictions on 1st floor and abc i. Principal Elevation ii. Rear Elevation on or adjacent to	vve Nil Nil
		2.55 metres from the Principal Boundary within the Lot for a length of 17.53 metres, measured from the 2.5 metres from the Rear Boundary. BTL 2) is parallel to and located 1.71 metres from the Principal Boundary within the Lot for a length of 7.65	•••••	rear boundary iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		metres measured from the Secondary Setback Line as depicted on the Plan. BTL 3) is located on the Secondary Setback line for a length of 13.04		Consider Fileston	Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	DTI Descentage	metres, as depicted on the Plan.		iv. Secondary Elevation	Nil
g.	BTL Percentage	BTL 1) 95% minimum, BTL 2) 100% and BTL 3) 80% minimum.		v. Side Elevation (East)	Open Outlook.Openings permitted.
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
				vi. Side Elevation	N/A
a.	Encroachments beyond Principal Sethac		12.	Specific Design Requirement	V. There is a first transfer of CDD/s
•••••	Encroachments beyond Principal Setbac Permitted Encroachments beyond the Principal Setback	a. 1a) Nil 1b) Verandah, Balconies, Eaves, Bay Windows, Portico to define the princial entrance, Plinths or piers to the Verandah, Steps.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Three required (mandated) SDR's SDR 1) A Gable End is mandated (no fence)
					SDR 2) A Gable End to mirror SDR 1 is mandated.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	1a) N/A 1b) 2.55 metres measured from the Principal Setback Line.			SDR 3) Landscaping within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural
D	i. Permitted Encroachments into	N/A	13.	Refuse storage enclosures and collec	Standards for Jindee. tion
• • • • • • • • • • • • • • • • • • • •	Secondary Setback.	NI/A	a.	Required Bin Storage	Storage for 3 bins provided within the
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A	b.	Required Bin Collection Point Location	Lot and screened from public view
С.	Encroachments into Side Setback i. Permitted Encroachments into	Eaves, Shade Devices and Attached	14.	(required by the City of Wanneroo) Landscaping + Street Trees	Refer - Private Realm Operative Provisions
d.	Side Setback (East) Encroachments into Rear Setback.	Fences.	15.	External Fixtures	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Rear Setback	N/A	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
********	ii. Extent to which Permitted Encroachments may encroach	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
	beyond the Rear Setback		18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 296 Т3 **TRANSECT** LOT TYPE Interior AREA (APPROX M2) 599 LOT FRONTAGE 17m



Legend

Building Type

- Villa Type
- House Type

Specific Design Requirements (refer to Operative Provision No.12) (SDR)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

30.10 Datum and Pad Level (refer Operative Provision No. 5)

+29.75 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Special Design Response - Private Landscaping

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (East)

Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 296 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 296. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

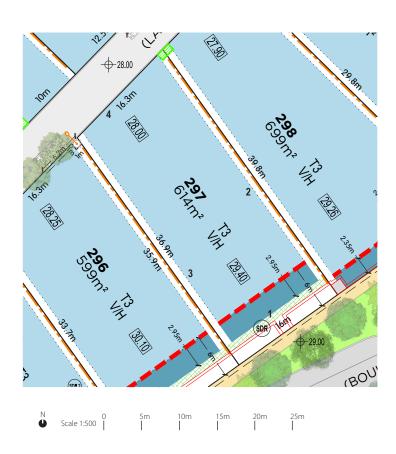
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.25 AHD, 30.10AHD

ITEM	DESCRIPTION	REQUIREMENT
5	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, for a length of 15 metres measured from the Side Boundary, within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line.
g.	BTL Percentage	75%
n.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	Permitted Encroachments beyond the Principal Setback ii. Extent to which Permitted	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps. 2.95 metres measured from the
	Encroachments may encroach beyond the Principal Setback	Principal Setback Line.
b.	 i. Permitted Encroachments into Secondary Setback. 	ack N/A
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
C.	Encroachments into Side Setback	•••••
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this	Villa/ House - 2 bays
b.	minimum number of cars Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
	Permitted Garage Disposition	Rear Direct , Rear Side Court, Rear

ITEM	DESCRIPTION	REQUIREMENT	
10.	Attached Fencing and Sideyard Walling		
a.	Type required	quired Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor and a	bove	
	i. Principal Elevation	Nil	
	ii. Rear Elevation on or adjacent	Nil	
	to rear boundary iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;	
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.	
	iv. Secondary Elevation	N/A	
	v. Side Elevation (East)	Open Outlook.	
		Openings permitted.	
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.	
	vi. Side Elevation (West)	Restricted Outlook	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		• is a Celestial Window; or	
		• is Screened; or	
		• is fitted with Opaque Glass.	
12.	Specific Design Requirement		
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - One required (mandated) SDR SDR) Landscaping area within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.	
13.	Refuse storage enclosures and coll	ection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	



LOT 297
TRANSECT T3
LOT TYPE Interior
AREA (APPROX M²) 614
LOT FRONTAGE 16m



Legend

Building Type

- V Villa Type
- H House Type

Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

29.40 Datum and Pad Level (refer Operative Provision No. 5)

+29.00 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Special Design Response - Private Landscaping

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (East)

3 Side Boundary (West)

4 Rear Boundary

*- Proposed Light Pole Location

Lot 297 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 297. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.00 AHD, 29.40 AHD

a. Principal Setback Line Is parallel to and located 6.0 metres from the Principal Boundary, for a length of 14 metres measured from the Side Boundary, within the Lot. b. Secondary Setback Line (East) Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. c. Side Setback Line (West) Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. d. Side Setback Line (West) Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. E. Bulid-to-Line (BTL) Location Yes. BTL is parallel to and located on the Pincipal Setback Line. Bulid-to-Line (BTL) Location Yes. BTL is parallel to and located on the Pincipal Setback Line. Bulid-to-Line (BTL) Location N/A Permitted Encroachments The extent to which any Encroachment an encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Encroachments beyond Principal Setback Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Proficto to define the principal entrance, Plinths or Piers to the Verandah, Setopod the Principal Setback Projecting Fronts, Bay Windows, Proficto to define the principal entrance, Plinths or Piers to the Verandah, Setopod the Principal Setback N/A Promitted Encroachments may encroach beyond the Secondary Setback N/A Promitted Encroachments may encroach beyond the Secondary Setback N/A Promitted Encroachments into Side Setback (East and West) Eaves, Shade Devices and Attached Fences Principal Building Elevation Types Principal Building Elevation Types Required Principal Building Elevation Types Principal Building Elevation Types Principal Building Elevation Types Principal Building Elevation Requirements Principal Building Elevation Types Principal Building Elevation Types Principal Building Elevation Types Principal Building Elevation Types Elevation Types Elevation Types Elevation Elevatio	ITEM	DESCRIPTION	REQUIREMENT
from the Principal Boundary, for a length of 14 metres measured from the Side Boundary, within the Lot. 2. Secondary Setback Line (East) for parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. 3. Side Setback Line (West) from the Side Boundary (East) within the Lot. 4. Side Setback Line (West) for his side Boundary (West) within the Lot. 5. Build-to-Line (BTL) Location within the Lot. 6. Build-to-Line (BTL) Location Within the Lot. 6. Build-to-Line (BTL) Location Within the Lot. 7. Permitted Encroachments 7. Permitted Encroachments 8. Encroachments beyond Principal Setback Line. 9. Encroachments beyond Principal Setback Line of any retaining walls. 8. Encroachments beyond Principal Setback 8. Encroachments beyond Principal Setback 9. Encroachments beyond Principal Setback 10. Permitted Encroachments 11. Extent to which Permitted Encroachments may encroach beyond the Principal Setback 12. Permitted Encroachments into Secondary Setback 13. Extent to which Permitted Encroachments into Secondary Setback 14. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback 15. Permitted Encroachments into Secondary Setback 16. Encroachments into Secondary Setback 17. Permitted Encroachments into Side Setback 18. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback 19. Encroachments into Side Setback 10. Permitted Encroachments into Side Setback 11. Permitted Encroachments into Side Setback 12. Permitted Encroachments into Side Setback 13. Extent to which Permitted Encroachments into Side Setback 14. Permitted Encroachments into Side Setback 15. Permitted Encroachments into Side Setback 16. Encroachments into Rear Setback 17. Permitted Encroachments into Rear Setback 18. Extent to which Permitted Encroachments into Rear Setback 19. Permitted Encroachments into Rear Setback 20. Additional garaging requirement for Andilany Unit, if provided 21. Cocosia provision and Vehicle Access 22. Garaging Parking and Vehicl	5	Setbacks and Build-to-Lines	
Side Setback Line (East) Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.	a.	Principal Setback Line	from the Principal Boundary, for a length of 14 metres measured from
Side Setback Line (West) Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	b. c.	•••••	Is parallel to and located 1.0 metre from the Side Boundary (East)
within the Lot. Build-to-Line (BTL) Location Yes, BTL is parallel to and located on the Principal Setback Line. BTL Percentage 75% Required Parapet Wall Location N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Encroachments beyond Principal Setback i. Permitted Encroachments beyond the Principal Setback Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps. ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback i. Permitted Encroachments into Secondary Setback ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback ii. Extent to which Permitted Encroachments into Side Setback (East and West) Fencioachments into Side Setback ii. Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear Setback iii. Extent to which Permitted Encroachments into Rear S	d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West)
on the Principal Setback Line. 3. BTL Percentage 75% 7. Permitted Encroachments The extent to which any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. a. Encroachments beyond Principal Setback i. Permitted Encroachments beyond the Principal Setback Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps. ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback Principal Setback Ine. ii. Permitted Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback ii. Extent to which Permitted Encroachments into Side Setback (East and West) ii. Extent to which Permitted Encroachments into Side Setback ii. Permitted Encroachments into Side Setback ii. Permitted Encroachments into Rear Setback iii. Extent to which Permitted	e.	Rear Setback Line	
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Encroachments may encroach beyond the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (East and West) d. Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback. ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback iii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback 3. Frontage/ Principal Elevation Requirements a. Required Private Frontage Type Verandah b. Permitted Principal Building Straight Front, Projecting Front, a Return Verandah, a Double Return Verandah, a Double Return Verandah and a Double Projecting Front. Garaging, Parking and Vehicle Access a. Garaging required for this minimum number of cars b. Additional garaging requirement for Ancillary Unit, if provided C. Lot boundaries where Vehicle Access is prohibited d. Permitted Garage Disposition Rear Direct , Rear Side Court, Rear			N/A
i. Permitted Encroachments into Side Setback (East and West) d. Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback 3. Frontage/ Principal Elevation Requirements a. Required Private Frontage Type Verandah b. Permitted Principal Building Elevation Types Straight Front, Projecting Front, a Return Verandah, a Double Return Verandah and a Double Return Verandah and a Double Projecting Front. 9. Garaging, Parking and Vehicle Access a. Garaging required for this minimum number of cars b. Additional garaging requirement for Ancillary Unit, if provided c. Lot boundaries where Vehicle Access is prohibited d. Permitted Garage Disposition Rear Direct, Rear Side Court, Rear		Encroachments may encroach	N/A
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i. Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback 8. Frontage/ Principal Elevation Requirements a. Required Private Frontage Type D. Permitted Principal Building Elevation Types Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. 9. Garaging, Parking and Vehicle Access a. Garaging required for this minimum number of cars b. Additional garaging requirement for Ancillary Unit, if provided c. Lot boundaries where Vehicle Access is prohibited d. Permitted Garage Disposition N/A N/A N/A N/A N/A N/A Encroachments N/A Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Projecting Front. Nil Principal Boundary, Side Boundary (East and West) G. Permitted Garage Disposition Rear Direct , Rear Side Court, Rear	•••••		
Rear Setback ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback B. Frontage/ Principal Elevation Requirements a. Required Private Frontage Type Verandah b. Permitted Principal Building Elevation Types Garaging, Parking and Vehicle Access a. Garaging, Parking and Vehicle Access b. Garaging required for this minimum number of cars c. Additional garaging requirement for Ancillary Unit, if provided c. Lot boundaries where Vehicle Access is prohibited d. Permitted Garage Disposition N/A N/A N/A N/A N/A N/A N/A N/	d.	Encroachments into Rear Setback.	••••••
Encroachments may encroach beyond the Rear Setback 3. Frontage/ Principal Elevation Requirements a. Required Private Frontage Type Verandah b. Permitted Principal Building Elevation Types Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. 9. Garaging, Parking and Vehicle Access a. Garaging required for this minimum number of cars b. Additional garaging requirement for Ancillary Unit, if provided c. Lot boundaries where Vehicle Access is prohibited d. Permitted Garage Disposition Rear Direct , Rear Side Court, Rear	•••••		N/A
A. Required Private Frontage Type D. Permitted Principal Building Elevation Types A Return Verandah, a Projecting Front, a Return Verandah, a Double Return Verandah and a Double Projecting Front. D. Garaging, Parking and Vehicle Access D. Garaging required for this minimum number of cars D. Additional garaging requirement for Ancillary Unit, if provided D. Lot boundaries where Vehicle Access is prohibited D. Permitted Garage Disposition Rear Direct , Rear Side Court, Rear		Encroachments may encroach	N/A
Permitted Principal Building Elevation Types Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. Garaging, Parking and Vehicle Access Garaging required for this minimum number of cars Additional garaging requirement for Ancillary Unit, if provided Lot boundaries where Vehicle Access is prohibited Permitted Garage Disposition Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Return Verandah, a Projecting Front and a Return Verandah, a Pouble Return Verandah, a Projecting Front and a Return Verandah, a Pouble Return Verandah, a Pouble Return Verandah, a Projecting Front and a Return Verandah, a Pouble Return Verandah, a Projecting Front and a Return Verandah, a Pouble Return Verandah, a Projecting Front and a Return Verandah, a Pouble Return Verandah, a Pouble Return Verandah, a Pouble Return Verandah, a Pouble Return Verandah Projecting Front and a Return Verandah Pouble Return Verand	8.	Frontage/ Principal Elevation Requ	uirements
Elevation Types a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Return Verandah and a Double Projecting Front. Garaging, Parking and Vehicle Access a. Garaging required for this minimum number of cars b. Additional garaging requirement for Ancillary Unit, if provided c. Lot boundaries where Vehicle Access is prohibited Access is prohibited G. Permitted Garage Disposition a Return Verandah, a Projecting Front and a Return Verandah, a Double Projecting Front and a Return Verandah, a Projecting Front and a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah Projecting Return Verandah, a Double Return Verandah Projecting Return Verandah Projecti	Э.	Required Private Frontage Type	Verandah
Garaging required for this minimum number of cars D. Additional garaging requirement for Ancillary Unit, if provided Lot boundaries where Vehicle Access is prohibited D. Permitted Garage Disposition Willa/ House - 2 bays Nil Principal Boundary, Side Boundary (East and West) Rear Direct, Rear Side Court, Rear	b.		a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a
minimum number of cars D. Additional garaging requirement for Ancillary Unit, if provided Lot boundaries where Vehicle Access is prohibited D. Permitted Garage Disposition Mil Permitted Garage Disposition Nil Principal Boundary, Side Boundary (East and West) Rear Direct , Rear Side Court, Rear	9.	Garaging, Parking and Vehicle Acc	ess
for Ancillary Unit, if provided Lot boundaries where Vehicle Principal Boundary, Side Boundary (East and West) d. Permitted Garage Disposition Rear Direct , Rear Side Court, Rear	a.		Villa/ House - 2 bays
Access is prohibited (East and West) d. Permitted Garage Disposition Rear Direct , Rear Side Court, Rear	b.		Nil
	c.		
	d.	Permitted Garage Disposition	

ITEM	DESCRIPTION REQUIREMENT		
10.	Attached Fencing and Sideyard W	/alling	
a.	Type required	Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor and	above	
	i. Principal Elevation	Nil	
•••••	ii. Rear Elevation on or adjacent	Nil	
	to rear boundary iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and	
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.	
	iv. Secondary Elevation	N/A	
	v. Side Elevation (East)	Open Outlook.	
		 Openings permitted. 	
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.	
	vi. Side Elevation (West)	Restricted Outlook	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		• is a Celestial Window; or	
		 is Screened; or 	
		 is fitted with Opaque Glass. 	
12.	Specific Design Requirement		
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - One required (mandated) SDI SDR) Landscaping area within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.	
13.	Refuse storage enclosures and co	llection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	



LOT 298

TRANSECT T3

LOT TYPE Corner

AREA (APPROX M²) 699

LOT FRONTAGE 19.4m + 7.2m



Legend

Building Type

- v Villa Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

29.26 Datum and Pad Level (refer Operative Provision No. 5)

+28.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Special Design Response - Private Landscaping

Entry Steps

Indicative Retaining Wall Locations

——— Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Secondary Boundary

3 Side Boundary (East)

4 Side Boundary (West)

5 Rear Boundary

Proposed Light Pole Location

Lot 298 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 298. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

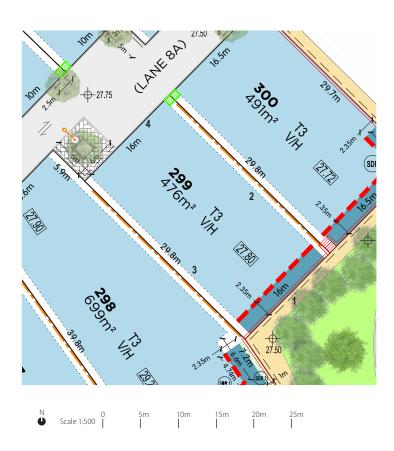
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ITEM	M DESCRIPTION REQUIREMENT	
1	Site Works	
a.	Maximum Lot Level Refer - Private Realm Operat Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single One (1) Residential Dwellings	
b.	Maximum Number of Dwellings N/A Permitted for an Apartment House	
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.90 AHD, 29.26 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Access	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within	a.	Garaging required for this minimum number of cars	Villa / House - 2 bays
		the Lot, for a length of 15.05 metres measured from the Secondary Setback line.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b.	Secondary Setback Line	Is parallel to and located 3.35 metres from the Secondary Boundary within the Lot, for a distance of 4.80 metres	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West)
	•••••	measured from the Principal Setback Line.	d.	Permitted Garage Disposition	Rear Direct , Rear Side Court, Rear Back Court, Rear Side Stack.
C.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within	10.	Attached Fencing and Sideyard Wallin	ng
	•••••	the Lot.	a.	Type required	Attached Fence
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	11. a.	Privacy Privacy Restrictions on 1st floor and abor	ve
e.	Rear Setback Line	Is located on the Rear Boundary within	•••••	i. Principal Elevation	Nil
	·····	the Lot.	•••••	ii. Rear Elevation on or adjacent to	Nil
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 15.05 metres, measured from the Secondary Setback Line as shown on the Plan. BTL 2) is parallel to and located 3.35 metres from the Secondary Boundary within the Lot for a length of 4.74 metres measured from the Principal Setback Line.		rear boundary iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%		iv. Secondary Elevation	Nil
h.	Required Parapet Wall Location	N/A		v. Side Elevation (East)	Open Outlook.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		vi. Side Elevation (West)	 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
a.	Encroachments beyond Principal Setba	• • • • • • • • • • • • • • • • • • • •			Openings to be setback a minimum of
••••	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.			4.5m from the Side Boundary unless the Opening:is a Celestial Window; or
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.			is Screened; oris fitted with Opaque Glass.
b.	Encroachments into Secondary Setback		12.	Specific Design Requirement	V T
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes -Two required (mandated) SDR's. SDR 1) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or a Double Verandah.
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2.35 metres measured from the Secondary Setback Line.			SDR 2) Landscaping area within the Lot as depicted on the Plan.
С.	Encroachments into Side Setback				For the purposes of this provision,
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.			Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.
d.	Encroachments into Rear Setback.	•••••	13.	Refuse storage enclosures and collect	
	i. Permitted Encroachments into Rear Setback	N/A	a.	Required Bin Storage	Storage for 3 bins provided within the
•••••	ii. Extent to which Permitted Encroachments may encroach	N/A	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Lot and screened from public view N/A
8.	beyond the Side Setback Frontage/ Principal Elevation Require	ements	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah A Return Verandah, a Projecting Front and a Return Verandah, a Double Verandah, a Double Return Verandah and a Double Projecting Front.	15.	External Fixtures	Refer - Private Realm Operative Provisions
			16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
			17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
			18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 299
TRANSECT T3
LOT TYPE Interior
AREA (APPROX M²) 476
LOT FRONTAGE 16



Legend

Building Type

- v Villa Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

27.80 Datum and Pad Level (refer Operative Provision No. 5)

+27.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (East)

Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 299 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 299. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single One (1) Residential Dwellings	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	•••••
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.80 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 14.0 metres measured from the Side Setback Line.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 14.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
C.	Encroachments into Side Setback	Former Charles Devices and Associated
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	i. Permitted Encroachments into	N/A
	Rear Setback ii. Extent to which Permitted	N/A
	Encroachments may encroach beyond the Rear Setback	
8.	Frontage/ Principal Elevation Requ	irements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	
a.	Garaging required for this minimum number of cars	Villa / House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Side Direct, Rear Back Court, Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard W	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	ahove
• • • • • •		
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a
		minimum of 4.5m from a Side Boundary, unless Screened.
	iv Secondary Floration	· · ·····
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; oris fitted with Opaque Glass.
12.	Specific Design Requirement	is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	llection
а.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 300
TRANSECT T3
LOT TYPE Edge
AREA (APPROX M²) 491
LOT FRONTAGE 16.5m



Legend

Building Type

- Villa Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

27.72 Datum and Pad Level (refer Operative Provision No. 5)

+26.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

1 Principal Boundary

2a+2b Secondary Boundary

Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 300 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 300. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

	· ·	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT		
4	Plinths			
a.	Is a Plinth required for this Lot?	Yes		
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.		
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No		
d.	Required building element to attach to the Plinth	Verandah		
5	Building Heights			
a.	Maximum No of Storeys	2 storeys plus loft		
b.	Maximum External Wall Height	7.5 metres		
C.	Lot Datum (from which Building Height is measured)	27.72 AHD		

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Rec	quirements
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 13.15 metres measured from the Secondary Setback Line.	a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah A Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah.
b.	Secondary Setback Line	2a) is parallel to and located	9.	Garaging, Parking and Vehicle Ac	cess
		2.35 metres from the Secondary Boundary within the Lot, for a distance of 5.0 metres measured	a.	Garaging required for this minimum number of cars	Villa / House - 2 bays
		from the Principal Setback Line. 2b) is parallel to and located on the Secondary Boudary.	b. 	Additional garaging requirement for Ancillary Unit, if provided Lot boundaries where Vehicle	Nil Principal Boundary, Secondary
C.	Side Setback Line	N/A	C.	Access is prohibited	Boundary, Side Boundary (West) and a portion of the Rear Boundary
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.	d.	Permitted Garage Disposition	as depicted on the Plan. Rear Direct , Side Direct, Rear Back
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.	10.	Attached Fencing and Sideyard V	Court, Rear Side Stack. Valling
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located	a.	Type required	Attached Fence
	balla to Ellie (b.E) Estation	2.35 metres from the Principal	11.	Privacy	
		Boundary within the Lot for a length of 13.15 metres, measured 1.0 metre from the Side Boundary	a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil
		(West) as shown on the Plan. BTL 2) is parallel to and located	******	ii. Rear Elevation on or adjacent to rear boundary	Nil
		2.35 metres from the Secondary Boundary 2a within the Lot for a length of 5.0 metres measured from the Principal Setback Line.	•••••	iii. Rear elevation internal to a Lot	Balconies, Verandahs or terraces) to be setback 2m
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%			from Side Boundary unless Screened, or the Opening
h.	Required Parapet Wall Location	N/A			consists of Celestial Windows or opaque glass windows;
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		iv. Secondary Elevation	Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil
a.	Encroachments beyond Principal Set		•••••	v. Side Elevation	N/A
•••••	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.	••••	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.			is a Celestial Window; oris Screened; oris fitted with Opaque Glass.
b.	Encroachments into Secondary Setb	ack	12.	Specific Design Requirement	
	 Permitted Encroachments into Secondary Setback. 	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
	•••••	2b) N/A	13.	Refuse storage enclosures and co	ollection
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2a) 2.35 metres measured from the Principal Setback Line.	а.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
 C.	Encroachments into Side Setback	2b) N/A	b.	Required Bin Collection Point	N/A
•••••	Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Fences.		Location (required by the City of Wanneroo)	
d.	Encroachments into Rear Setback.	· · · · · · · · · · · · · · · · · · · ·	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Rear Setback	N/A	15.	External Fixtures	Refer - Private Realm Operative Provisions
	ii. Extent to which Permitted Encroachments may encroach	N/A	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
•••••	beyond the Side Setback		17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
			18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 944

TRANSECT 74

LOT TYPE Interior

AREA (APPROX M²) 300

LOT FRONTAGE 10m



Legend

Building Type

- c Cottage Type
- H House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

26.78 Datum and Pad Level (refer Operative Provision No. 5)

+25.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Indicative Services Area

—-— Retaining Wall Type 2

— No Vehicular Access

1 Principal Boundary

2 Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

*- Proposed Light Pole Location

Lot 944 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 944. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT	
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
C.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
С.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Types	Cottage, House	
С.	Lot Type Designation	Interior Lot	
d.	Permitted Building Dispositions	Edgeyard, Courtyard	
е.	Required Terrace Grouping	N/A	

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
а.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.78 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acc	cess
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary	а.	Garaging required for this minimum number of cars	Cottage/ House- 2
		within the Lot, for a length of 8.0 metres measured from the Side Setback Line.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
 b.	Secondary Setback Line	N/A	С.	Lot boundaries where Vehicle	Principal Boundary
 	Side Setback Line (North)	Is parallel to and located 1.0 metre	•••••	Access is prohibited	(North and South)
		from the Side Boundary (North)	d.	Permitted Garage Disposition	Rear Direct, Rear Si
		within the Lot.	10.	Attached Fence and Sideyard Wal	
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side	a. 11.	Type required Privacy	Attached Fence
		Boundary, for a distance of up to	a.	Privacy Restrictions on 1st floor and	above
		12 metres measured from the Rear Boundary.	•••••	i. Principal Elevation	Nil
 d.	Side Setback Line (South)	Is parallel to and located 1.0 metre	•••••	ii. Rear Elevation on or adjacent	Nil
۸.	Side Setback Line (South)	from the Side Boundary (South) within the Lot.		to rear boundary	
		A portion of one (1) of the Side		iii. Rear elevation internal to a Lot	 Openings (oth Balconies, Vera
		Setback Lines (North or South) may			terraces) to be from Side Bou
		be located on the relevant Side Boundary, for a distance of up to			Screened, or t
		12 metres measured from the Rear			consists of Cel or opaque gla
	Rear Setback Line	Boundary.			 Verandahs, ter
2.	near servack fille	Is located on the Rear Boundary within the Lot.			Balconies to b
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35			minimum of 4 Boundary, unl
		metres from the Principal Boundary within the Lot for a length of 8.0	•••••	iv. Secondary Elevation	N/A
		metres, measured 1.0 metre from	•••••	v. Side Elevation (North)	Open Outlook
		the Side Boundary (both North and South) as shown on the Plan.			Openings peri
	BTL Percentage	90% minimum.			 Verandahs, ter
 1.	Required Parapet Wall Location	N/A			Balconies to b a minimum of
'. 7.	Permitted Encroachments	The extent to which any Encroachment			the Side Boun
•	. Crimicea Encroaciditetto	can encroach into any setback			Screened.
		must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		vi. Side Elevation (South)	Restricted Outlook
					Openings to be se minimum of 4.5m
a.	Encroachments in Principal Setback	o. any recurring wans.			Boundary unless th
	i. Permitted Encroachments into	Verandahs, Pergola, Balconies, Eaves,			• is a Celestial W
	Principal Setback	Bay Windows, Portico to define the			• is Screened; or
		principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a			• is fitted with C
	••••	Terminating Vista Element.	12.	Specific Design Requirement	
	ii. Extent to which Permitted	2.35 metres measured from the	a.	Is there a Specific Design Requirement applicable to this	N/A
	Encroachments may encroach into the Principal Setback	Principal Setback Line.		Lot? (Terminated Vista, Corner	
 D.	Encroachments into Secondary Setb	pack		Treatment, Projecting Front, Laneway Surveillance)	
	i. Permitted Encroachments into	•••••	13.	Refuse storage enclosures and col	llection
	Secondary Setback.		a.	Required Bin Storage	Storage for 3 bins
C.	Encroachments into Side Setback		u.	negatied bitt storage	the Lot and screen
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached	•••••		view
 d.	Encroachments into Rear Setback.	ו כוולבט.	b.	Required Bin Collection Point Location (required by the City of	N/A
	i. Permitted Encroachments into	N/A		Wanneroo)	
	Rear Setback		14.	Landscaping + Street Trees	Refer - Private Re Provisions
3.	Frontage/ Principal Elevation Req		15.	External Fixtures	Refer - Private Re
١.	Required Private Frontage Type	Verandah		D 1 0 1 1 1 1 1 1 1	Provisions
).	Permitted Principal Building	Straight Front, a Return Verandah, a	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Re Provisions
	Elevation Types	Double Return Verandah.	17.	Exemptions to Planning Approval	Refer - Private Re Provisions
				Αρριοναι	i IUVISIUIIS

9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wall	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	above Nil
•••••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • • • • • • • • • • • • • •	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted.
	vi. Side Elevation (South)	Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
10	Consider Design Description	• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



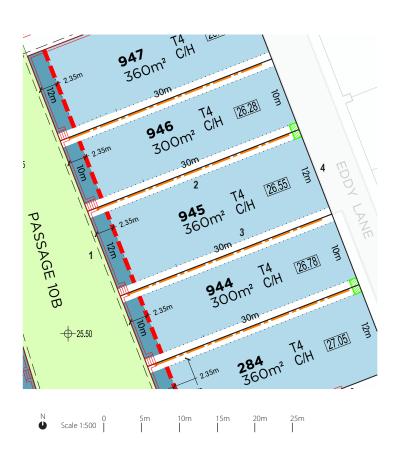
LOT 945

TRANSECT T4

LOT TYPE Interior

AREA (APPROX M²) 360

LOT FRONTAGE 12m



Legend

Building Type

- **c** Cottage Type
- H House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

26.55 Datum and Pad Level (refer Operative Provision No. 5)

+25.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Indicative Services Area

—-— Retaining Wall Type 2

— No Vehicular Access

1 Principal Boundary

2 Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

Proposed Light Pole Location

Lot 945 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 945. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT	
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
C.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
С.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Types	Cottage, House	
С.	Lot Type Designation	Interior Lot	
d.	Permitted Building Dispositions	Edgeyard, Courtyard	
e.	Required Terrace Grouping	N/A	

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft.	
b.	Maximum Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	26.55 AHD	

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle A
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary	a.	Garaging required for this minimum number of cars
		within the Lot, for a length of 10.0 metres measured from the Side Setback Line.	b.	Additional garaging requirement for Ancillary Unit, if provided
b.	Secondary Setback Line	N/A	C.	Lot boundaries where Vehicle Access is prohibited
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North)	d.	Permitted Garage Disposition
		within the Lot.	10.	Attached Fence and Sideyard Wa
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side	a. 11.	Type required Privacy
		Boundary, for a distance of up to 12 metres measured from the Rear Boundary.	a.	Privacy Restrictions on 1st floor and i. Principal Elevation
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South)	******	ii. Rear Elevation on or adjacent to rear boundary
		within the Lot.	•••••	iii. Rear elevation internal to a Lot
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.		
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.		
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary		
		within the Lot for a length of 10.0 metres, measured 1.0 metre from	•••••	iv. Secondary Elevationv. Side Elevation (North)
		the Side Boundary (both North and South) as shown on the Plan.		
g. h.	BTL Percentage Required Parapet Wall Location	90% minimum N/A		
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback		
		must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		vi. Side Elevation (South)
a	Encroachments in Principal Setback			
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers		
		for the Verandah, Steps, Towers, a Terminating Vista Element.	12.	Specific Design Requirement
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner
b.	Encroachments into Secondary Setb	ack		Treatment, Projecting Front, Laneway Surveillance)
	 Permitted Encroachments into Secondary Setback. 	N/A	13.	Refuse storage enclosures and co
С.	Encroachments into Side Setback		a.	Required Bin Storage
	 Permitted Encroachments into Side Setback (North and South) 	Eaves, Shade Devices and Attached Fences.	b.	Required Bin Collection Point
d	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A		Location (required by the City of Wanneroo)
0	Rear Setback		14.	Landscaping + Street Trees
8.	Frontage/ Principal Elevation Required Private Frontage Time		15.	External Fixtures
a.	Required Private Frontage Type	Verandah	16.	Design Outcomes – Additional
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.	17.	Requirements + Controls Exemptions to Planning
				Approval

9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walli	ng
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent	bove Nil Nil
	to rear boundary iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a
·····		minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook
	vi. Side Elevation (South)	 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
	vi. Side Elevatori (Soditi)	Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		• is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

REQUIREMENT







Legend

Building Type

- c Cottage Type
- H House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

26.28 Datum and Pad Level (refer Operative Provision No. 5)

+24.75 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services AreaPrincipal Boundary

2 Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

Proposed Light Pole Location

Lot 946 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 946. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

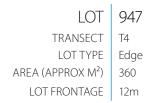
Specii	ic negativenes	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.		Interior Lot
d.	Permitted Building Dispositions	•••••
е.	Required Terrace Grouping	N/A
	••••••	· • · · · · · · · · · · · · · · · · · ·

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.28 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DE
6	Setbacks and Build-to-Lines		9.	Ga
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 8.0 metres measured from the Side	a. b.	Gai mir Ado for
b.	Secondary Setback Line	Setback Line. N/A	С.	Lot
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.	d.	Per
			10.	Att
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side	a. 11.	Typ Pri
		Boundary, for a distance of up to 12 metres measured from the Rear Boundary.	a.	Pri\ i.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.		ii.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.		iii.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.		
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.		iv. V.
g.	BTL Percentage	90% minimum		
h.	Required Parapet Wall Location	N/A		
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.	•••••	vi.
a.	Encroachments in Principal Setback			
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista	12.	Spe
	•••••	Element.	a.	ls tl
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.		Red Lot Tre Lar
b.	Encroachments into Secondary Setba		13.	Ref
	Permitted Encroachments into Secondary Setback. Encroachments into Side Setback	N/A	a.	Red
	• • • • • • • • • • • • • • • • • • • •	Eaves, Shade Devices and Attached Fences.	b.	Red Loc
d.	Encroachments into Rear Setback.i. Permitted Encroachments into	N/A	14.	Wa Lar
8.	Rear Setback Frontage/ Principal Elevation Requ	irements	15.	Ext
a.	Required Private Frontage Type	Verandah		
 b.	Permitted Principal Building	Straight Front, a Return Verandah, a	16.	De Re
۷.	Elevation Types	Double Return Verandah.	17.	Exe Ap

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wal	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	above Nil Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

- c Cottage Type
- H House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

26.05 Datum and Pad Level (refer Operative Provision No. 5)

+24.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

—-— Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Secondary Boundary

Side Boundary (South)

4 Rear Boundary

Proposed Light Pole Location

Lot 947 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 947. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
а.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.05AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle A	access
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal	a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
		Boundary within the Lot, for a length of 11.0 metres measured from the Secondary Boundary.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b.	Secondary Setback Line (North)	Is parallel to and located on the Secondary Boundary (North) within the Lot.	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (South)
 C.	Side Setback Line	N/A	d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
d.	Side Setback Line (South)	Is parallel to and located 1.0	10.	Attached Fence and Sideyard W	alling
u.	Side SetBack Eine (South)	metre from the Side Boundary (South) within the Lot.	a.	Type required	Attached Fence
		A portion of one (1) of the Side	11.	Privacy	
		Setback Lines (South) may be located on the relevant Side	a.	Privacy Restrictions on 1st floor an	•••••
		Boundary, for a distance of up		i. Principal Elevation	Nil
		to 12 metres measured from the Rear Boundary.		ii. Rear Elevation on or adjacent to rear boundary	Nil
e.	Rear Setback Line	Is located on the Rear Boundary		iii. Rear elevation internal to	Openings (other than
f.	Build-to-Line (BTL) Location	within the Lot. Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 11.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.		a Lot	Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback
g.	BTL Percentage	90% minimum			a minimum of 4.5m from a Side Boundary, unless
h.	Required Parapet Wall Location	N/A			Screened.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and		iv. Secondary Elevation v. Side Elevation (North) vi. Side Elevation (South)	Nil N/A Restricted Outlook Openings to be setback a
a.	Encroachments in Principal Setbac	limitations of any retaining walls.			minimum of 4.5m from the Side Boundary unless the Opening:
•••••	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah,	12.	Specific Design Requirement	is a Celestial Window; oris Screened; oris fitted with Opaque Glass.
		Steps, Towers, a Terminating Vista Element.	a.	Is there a Specific Design	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.	u.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
b.	Encroachments into Secondary Set	:back	13.	Refuse storage enclosures and o	collection
•••••	i. Permitted Encroachments into Secondary Setback (North)	N/A	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
С.	Encroachments into Side Setback i. Permitted Encroachments	Eaves, Shade Devices and	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
d.	into Side Setback (South) Encroachments into Rear Setback.	Attached Fences.	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
• • • • • • • •	i. Permitted Encroachments into Rear Setback	N/A	15.	External Fixtures	Refer - Private Realm Operative Provisions
8.	Frontage/ Principal Elevation Re	quirements	16.	Design Outcomes – Additional	Refer - Private Realm
a.	Required Private Frontage Type	Verandah	17.	Requirements + Controls Exemptions to Planning	Operative Provisions Refer - Private Realm
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.	18.	Approval No modification of building elements provided by Jindee Developer without Consent	Operative Provisions Refer - Private Realm Operative Provisions



LOT 948

TRANSECT 74

LOT TYPE Edge

AREA (APPROX M²) 473

LOT FRONTAGE 19.6m



Legend

Building Type

- c Cottage Type
- H House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.56 Datum and Pad Level (refer Operative Provision No. 5)

+23.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

1 Principal Boundary

2a+2b Secondary Boundary

3 Side Boundary (South)

4 Rear Boundary

roposed Light Pole Location

Lot 948 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 948. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.50 / 24.60 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle A	Access
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
		Boundary, for a length of 17.05 metres measured 1.55m from the Secondary Boundary, within	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
b.	Secondary Setback Line	the Lot. 2a) is parallel to and located 1.0 metre from the Secondary Boundary within the Lot as	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (South), Rear Boundary.
		depicted on the Plan; and	d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
		2b) is parallel to and located on the Secondary Boundary within	10.	Attached Fencing and Sideyard	Walling
		the Lot as depicted on the Plan.	a.	Type required	Attached Fence
С.	Side Setback Line	N/A	11.	Privacy	
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary	a.	Privacy Restrictions on 1st floor an	•••••
		(South) within the Lot. A portion of the Side Setback	•••••	i. Principal Elevationii. Rear Elevation on or adjacent	Nil Nil
		Line (South) may be located on the relevant Side Boundary		to rear boundary	•••••
		(South), for a distance of up to 12.0 meters, measured from the Rear Boundary.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening
e. 	Rear Setback Line	Is located on the Rear Boundary within the Lot.			consists of Celestial Windows or opaque glass windows;
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 17.60 metres, measured 1.0 metre from the Side Boundary (South) as shown			Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	071.0	on the Plan.		iv. Secondary Elevation	N/A
g.	BTL Percentage	80% minimum	•••••	v. Side Elevation vi. Side Elevation (South)	Restricted Outlook
 h.	Required Parapet Wall Location	N/A		viii Side Lievation (South)	Openings to be setback a
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a.	Encroachments beyond Principal S	etback	12.	Specific Design Requirement	
•••••	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers,	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
		Gatehouse, a Terminating Vista Element.	13.	Refuse storage enclosures and o	collection
	ii. Extent to which Permitted Encroachments may	2.7 metres measured from the Principal Setback Line.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
	encroach beyond the		b.	Required Bin Collection Point	N/A
b.	Encroachments beyond Secondary	/ Setback		Location (required by the City of Wanneroo)	
	i. Permitted Encroachments beyond the Secondary	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	Setback. Encroachments into Side Setback		15.	External Fixtures	Refer - Private Realm
C.	i. Permitted Encroachments	Eaves, Shade Devices and	16.	Design Outcomes – Additional	Operative Provisions Refer - Private Realm
 d.	into Side Setback (South) Encroachments into Rear Setback.	•••••	17.	Requirements + Controls Exemptions to Planning	Operative Provisions Refer - Private Realm
	i. Permitted Encroachments into Rear Setback	N/A	18.	Approval No modification of building	Operative Provisions Refer - Private Realm
8.	Frontage/ Principal Elevation Re	quirements	10.	elements provided by Jindee Developer without Consent	Operative Provisions
a.	Required Private Frontage Type	Verandah			
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.			



LOT 949

TRANSECT T4

LOT TYPE Interior

AREA (APPROX M²) 416

LOT FRONTAGE 14.9m + 6.7m



Legend

Building Type

- H House Type
- **APT** Apartment House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

23.67 Datum and Pad Level (refer Operative Provision No. 5)

♦21.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

--- Retaining Wall Type 2

— No Vehicular Access

Indicative Services Area

1a+1b Principal Boundary

Side Boundary (East)
Side Boundary (West)

• Side Bodinadi) (11

4 Rear Boundary

Proposed Light Pole Location

Lot 949 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 949. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

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ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	•••••
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	d Build-to-Lines		Garaging, Parking and Vehicle Access	
a.	Principal Setback Line	1a) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.76 metres, and 1b) follows a parallel offset of 3.55 metres from the Principal Boundary 1b for a length of 7.3 metres as	a. b.	Garaging required for this minimum number of cars Additional garaging requirement for	House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling Nil
		depicted on the Plan.	D.	Ancillary Unit, if provided	INII
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of the Side Setback Line may be located on the Side Boundary (East), for a distance of up to 8.0 metres measured from the Rear Boundary.	c. d.	Lot boundaries where Vehicle Access is prohibited Permitted Garage Disposition	Principal Boundary, Side Boundary (East and West) Rear Direct , Rear Side Stack, Rear
			10.	Attached Fencing and Sideyard Wal	Back Court.
			a.	Type required	Attached Fence
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West)	a. Privacy a. Privacy Restrictions on 1st floor and above i. Principal Elevation Nil		
		within the Lot. A portion of the Side Setback Line may be located on the Side Boundary (West), for a distance of up to 15.0 metres measured from the Rear Boundary.		ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.			unless Screened, or the Opening consists of Celestial Windows or
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.03 metres, measured from the Side Setback Line (West) as shown			opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
		on the Plan BTL 2) is parallel to and located 3.9 metres from the Principal Boundary 1b within the Lot for a length of 7.94 metres measured from the Side Setback Line (East) as shown on the Plan.		Secondary Elevation Side Elevation (East)	N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
g.	BTL Percentage	BTL 1) 80% minimum, and BTL 2) 95% minimum	•••••	vi. Side Elevation (West)	Restricted Outlook
h.	Required Parapet Wall Location	N/A			Openings to be setback a minimum
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls			of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a.	Encroachments beyond Principal Setb	ack	12.	Specific Design Requirement	
	i. Permitted Encroachments beyond the Principal Setback	1a + 1b) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
		Terminating Vista Element.	13.	Refuse storage enclosures and colle	ection
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	1a + 1b) 2.35 metres measured from the Principal Setback Line.	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Encroachments into Secondary Setba	Note: Depth of Principal Building and Projecting Front width is based on BTL 1 dimension only.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
	Permitted Encroachments into Secondary Setback.	N/A	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
С.	Encroachments into Side Setback i. Permitted Encroachments into	Eaves, Shade Devices and Attached	15.	External Fixtures	Refer - Private Realm Operative Provisions
d.	Side Setback (East and West)	Fences.	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
u.	Permitted Encroachments into Rear Setback	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
8.	Frontage/ Principal Elevation Requi	rements	18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Verandah		Developer without Consent	
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.			



