

JINDEE

LOCAL DEVELOPMENT PLAN NO 5.0 (RELEASE 2) INDIVIDUAL LOT PLANS JINDEE, WESTERN AUSTRALIA

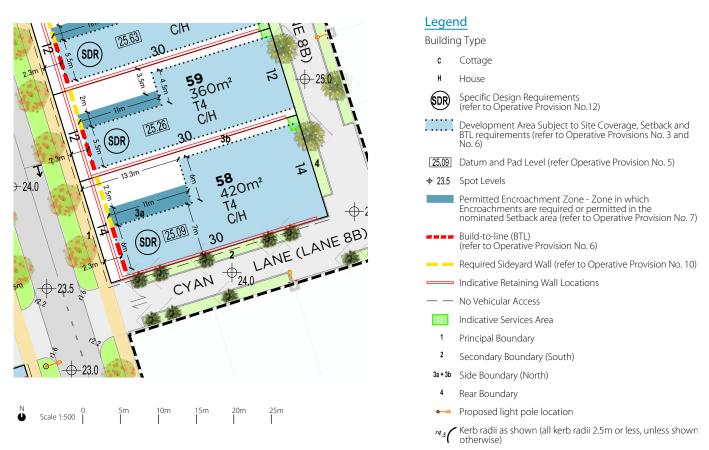
LDP NO. 5.0

LDP 5.0 LIST OF MODIFICATIONS

MODIFICATION No	REVISION DATE	DESCRIPTION
0	March 2020 (Revisions 1-4)	Approved by the City of Wanneroo 24.3.20
1	July 2020 (Revision 5)	 Proposed amendments to the built form provisions for Lots 58, 59 and 60 (Provision 10a); Lot 89 (Provisions 6a, 6d, 6f, 7, 7ai, 7bi, 7bii, 7ci, 7cii (deleted), 8b, 12a); , Lot 111 (Provision 6b, 6f, 7bii, 7ci, 12a) and Lot 114 (Provisions 6c, 7ci) Inclusion of provision for Item 7 Permitted Encroachments for all Lots Changing of terminology from 'Attached Walls' to 'Attached Fences' for all Lots Inclusion of new or modified definitions in LDP Report for Principal Building; Principal Building Depth, and Apartment House



LOT 58 TRANSECT T4 LOT TYPE Edge AREA (APPROX M²) 420 LOT FRONTAGE 14m



→ Signage (No Stopping Areas)

Lot 58 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 58. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Sideyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No.
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.09 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.3 metres from the Principal Boundary within the Lot for a length of 7.0 metres measured from the Side Boundary (South); and parallel to and located 13.3 metres from the Principal Boundary within the Lot for a length of 7.0 metres measured from the Side Boundary (North).
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
С.	Side Setback Line (North)	3(a) Is parallel to and located 7.0 metres from the Side Boundary (North) within the Lot for a length of 11.0 metres measured from the Principal Boundary; and 3(b) Is parallel to and located 1.0
		metre from the Side Boundary (North) within the Lot for a length of 16.7 metres measured from the Rear Boundary.
d.	Side Setback Line Rear Setback Line	N/A Is located on the Rear Boundary.
C.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.3 metres from the Principal Boundary within the Lot for a length of 6.0 metres, measured 1.0 metre from the Secondary Boundary as shown on the Plan.
g.	BTL Percentage	100%.
h.	Required Parapet Wall Location	Parapet wall must extend from the Principal Building along the Principal Setback line to the extent of the verandah to conceal the verandah, and contains an entry gate.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setba	ck
	i. Permitted Encroachments beyond Principal Setback	Shade Devices, Steps
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.3 metres measured from the Principal Setback Line.
 b.	Encroachments beyond Secondary Set	oack
	i. Permitted Encroachments beyond Secondary Setback	N/A
с.	Encroachments into Side Setback	••••••
	i. Required Encroachments into Side Setback 3(a)(North)	Verandah, or a Terrace with Pergola for a distance of 11.0 metres measured from the Principal Setback Line, and. 2.0m measured from the Side Setback Line 3(a). Exceptions to this are Steps and Shade Devices.
	ii. Permitted Encroachments into Side Setback 3(a)(North)	Plinths or Piers to the Verandah, Balconies, Porticos, Steps, Sideyard Walls.
	Extent to which Required or Permitted Encroachments may encroach into a Side Setback 3(a) (North)	2.5m measured from the Side Setback Line 3(a). Exceptions to this are Steps and Shade Devices.
	iv. Permitted Encroachments into Side Setback 3(b)(North) Encroachments into Rear Setback.	Eaves, Shade Devices, Steps and Sideyard Walls.
	i. Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requiren	nents
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Stoop Straight Front
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с. d.	Lot boundaries where Vehicle Access is prohibited Permitted Garage Disposition	Principal Boundary, Secondary Boundary and Side Boundary (North) Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	g
a.	Type, extent and location of Walling required	 Sideyard wall to be located along the Principal Setback Line for a length of 7.0m, measured from the Northern Boundary.
		 Where a nil Setback is not utilised to the Secondary Setback Line, the Sideyard wall is to be built along the Principal Setback Line up to the Secondary Boundary (South), and continue for a length of 2.0 metres along the Secondary Boundary (South) at a height of 1.8 metres measured from the higher lot level.
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	Nil Nil • Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening
	iv. Secondary Elevation	 consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
а.	Is there a Specific Design Requirement applicable to this Lot?	Yes. Gable End for the length of the Build to Line.
13.	Refuse storage enclosures and collection	on
a.	Required Bin Storage	Storage for 2 bins provided within the
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Lot and screened from public view Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 59 TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

42000 30 ZΠ 3 Om² r [25.63] 30 SDR 2b 59 Om² A AE 25.26 C .3.0. SDR

(SDR) [25.09]

10m

Legend

Buildin	Building Type		
С	Cottage		
н	House		
SDR	Specific Design Requirements (refer to Operative Provision No.12)		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
25.26	Datum and Pad Level (refer Operative Provision No. 5)		
+ 25.0	Spot Levels		
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
_	Required Sideyard Wall (refer to Operative Provision No. 10)		
	Indicative Retaining Wall Locations		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2a + 2b	Side Boundary (North)		
3	Side Boundary (South)		
4	Rear Boundary		
0 0	Proposed light pole location		
14.5	Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)		
⊢	Signage (No Stopping Areas)		

Lot 59 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 59. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Б

LANE (LANE 8'

Om²

24 0

25m

C.

30

20m

YAN

15m

Specific Requirements

T

5m

0 Scale 1:500

. () - 24.0

N

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Sideyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No.
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.26 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.3 metres from the Principal Boundary within the Lot for a length of 6.5 metres measured from the Side Boundary (South); and parallel to and located 13.3 metres from the Principal Boundary within the Lot for a length of 5.5 metres measured from the Side Boundary (North)
b.	Secondary Setback Line	N/A
с.	Side Setback Line (North)	2(a) Is parallel to and located 5.5 metres from the Side Boundary (North) within the Lot for a length of 11.0 metres measured from the Principal Setback Line; and 2(b) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot for a length of 16.7 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.3 metres from the Principal Boundary within the Lot for a length of 5.5 metres, measured 1.0 metre from the Side Boundary (South) as shown on the Plan.
 a	BTL Percentage	100%
g. h.	Required Parapet Wall Location	Parapet wall must extend from the Principal Building along the Principal Setback line to the extent of the verandah to conceal the verandah, and contains an entry gate.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setba	ck
	 Permitted Encroachments beyond the Principal Setback Extent to which Permitted Encroachments may encroach beyond the Principal Setback 	Shade Devices, Steps 2.3 metres measured from the Principal Setback Line.
 b.	Encroachments beyond Secondary Set	nack
	i. Permitted Encroachments beyond Secondary Setback.	N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Required Encroachments into Side Setback 2(a) (North)	Verandah, or a Terrace with Pergola for a distance of 11.0 metres measured from the Principal Setback Line, as shown on the Plan.
•••••	ii. Permitted Encroachments into Side Setback 2(a)(North)	Plinths or Piers to the Verandah, Balconies, Porticos, Steps, Sideyard Walls.
	iii. Extent to which Required or Permitted Encroachments may encroach into a Side Setback 2(a) (North)	Verandah, or a Terrace with Pergola for a distance of 11.0 metres measured from the Principal Setback Line, and. 2.0m measured from the Side Setback Line 2(a). Exceptions to this are Steps and Shade Devices.
•••••	iv. Permitted Encroachments into Side Setback 2(b)(North)	Eaves, Shade Devices, Steps and Sideyard Walls.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A
	Rear Setback	
8.	Rear Setback Frontage/ Principal Elevation Requirer	nents

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	g
a.	Type, extent and location of Walling required	 Sideyard wall to be located along the Principal Setback Line for a length of 5.5m, measured from the Side Boundary (North). A Sideyard wall is to be built along the Principal Setback between the building and the Side Boundary (South), at a height of 1.8 metres measured from the higher lot level.
11.	Privacy	
а.	Privacy Restrictions on 1st floor and abo	ve
••••••	••••••	••••••
••••••	i. Principal Elevationii. Rear Elevation on or adjacent to	Nil Nil
••••••	rear boundary	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv Secondary Flavation	•••••••••••••••••••••••••••••••••••••••
•••••	iv. Secondary Elevationv. Side Elevation (North)	N/A Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
••••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
12.	Specific Design Requirement	 is fitted with Opaque Glass.
12. a.		Yes. Gable End for the length of the
d.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Gable End, Corner Treatment, Projecting Front, Laneway Surveillance)	Build to Line.
13.	Refuse storage enclosures and collecti	on
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 60 TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

Legend 360m Building Type 30 С Cottage 6 н House CIH 25.93 Specific Design Requirements (refer to Operative Provision No.12) (SDR) 61 420m² -25. Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and3.0. No. 6) 2h [25.63] Datum and Pad Level (refer Operative Provision No. 5) 5 60 60m² + 25.0 Spot Levels R Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7) Z CIH [25.63] 8B 30 -24.5 Build-to-line (BTL) (refer to Operative Provision No. 6) SDR (STREET 3 3 03 ∄ 59 Required Sideyard Wall (refer to Operative Provision No. 10) ,60m² Indicative Retaining Wall Locations C۱۲ No Vehicular Access 25.26 30 Indicative Services Area 1 Principal Boundary Б T 2a + 2b Side Boundary (North) 58 ⊕-24.0 3 Side Boundary (South) 4 Rear Boundary 5m 10m 5m 20m 25m Scale 1:500 Proposed light pole location Signage (No Stopping Areas) ↦

Lot 60 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 60. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Sideyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No.
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.63 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.3 metres from the Principal Boundary within the Lot for a length of 6.5 metres measured from the Side Boundary (South); and parallel to and located 13.3 metres from the Principal Boundary within the Lot for a length of 5.5 metres measured from the Side Boundary (North)
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	2(a) Is parallel to and located 5.5 metres from the Side Boundary (North) within the Lot for a length of 11.0 metres measured from the Principal Setback Line; and
		2(b) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot for a length of 16.7 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	 Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.3 metres from the Principal Boundary within the Lot for a length of 5.5 metres, measured 1.0 metre from the Side Boundary (South) as shown on the Plan.
	PTI Dercontago	•••••••••••••••••••••••••••••••••••••••
g. h.	BTL Percentage Required Parapet Wall Location	100% Parapet wall must extend from the Principal Building along the Principal Setback line to the extent of the verandah to conceal the verandah, and contains an entry gate.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback i. Permitted Encroachments beyond	Shade Devices, Steps
	the Principal Setback ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.3 metres measured from the Principal Setback Line.
b.	Encroachments beyond Secondary Setbac i. Permitted Encroachments beyond Secondary Setback.	k N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Required Encroachments into Side Setback 2(a) (North)	Verandah, or a Terrace with Pergola for a distance of 11.0 metres measured from the Principal Setback Line, as shown on the Plan.
•••••	ii. Permitted Encroachments into Side Setback 2(a)(North)	Plinths or Piers to the Verandah, Balconies, Porticos, Steps, Sideyard Walls.
	Extent to which Required or Permitted Encroachments may encroach into a Side Setback 2(a) (North)	Verandah, or a Terrace with Pergola for a distance of 11.0 metres measured from the Principal Setback Line, and. 2.0m measured from the Side Setback Line 2(a). Exceptions to this are Steps and Shade Devices.
• • • • • •	iv. Permitted Encroachments into Side	Eaves, Shade Devices, Steps and Sideyard
d.	Setback 2(b)(North) Encroachments into Rear Setback.	Walls.
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirement	nts
a.	Required Private Frontage Type Permitted Principal Building Elevation	Stoop Straight Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum	Cottage/ House - 2 bays
b.	number of cars Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)
d. 10.	Permitted Garage Disposition Attached Fencing and Sideyard Walling	Rear Direct , Rear Side Stack.
a.	Type, extent and location required	 Sideyard wall to be located along the Principal Setback Line for a length of 5.5m, measured from the Side Boundary (North), and continue east for 2.2m along the Side Boundary (North). A Sideyard wall is to be built along the Principal Setback between the building and the Side Boundary (South), at a height of 1.8 metres measured from the higher lot level.
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above i. Principal Elevation ii. Rear Elevation on or adjacent to rear	Nil Nil
	boundary iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
••••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; oris fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Gable End, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Gable End for the length of the Build to Line.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 61 TRANSECT T4 LOT TYPE AREA (APPROX M²) 420 LOT FRONTAGE 14m

Interior

Legend CIM **63** 360m² Building Type С Cottage 5 н House m² CIH 26.20 (SDR) 30 No. 6) 5 PZ + 25.5 Spot Levels T4 CIH 25.93 ⊢25.0 61 420m² STREET -25. .30 3 60m² 25.63 3.0. 24.5 SDR Ś 3 **59** 360m² 2 1 3 ٨ 10m 5m 20m 25m Scale 1:500

Specific Design Requirements (refer to Operative Provision No.12) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and [25.93] Datum and Pad Level (refer Operative Provision No. 5) Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Required Sideyard Wall (refer to Operative Provision No. 10) Indicative Retaining Wall Locations No Vehicular Access Indicative Services Area Principal Boundary Side Boundary (North) Side Boundary (South) Rear Boundary

Lot 61 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 61. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.93 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
 b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 12.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
 g.	BTL Percentage	80% minimum
т h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	:back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb i. Permitted Encroachments into Secondary Setback.	ack N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached
d.	 Encroachments into Rear Setback. Permitted Encroachments into Rear Setback 	N/A
8.	Frontage/ Principal Elevation Requi	irements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundar (North + South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Sid Destance of the Screeney Science, Sci
	iu Cacandaru Elaustian	Boundary, unless Screened.
•••••	v. Side Elevation (North)	N/A Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
		• is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 2 bins provided withir the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 62 TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

Legend 64 360m² CIH 26.14 3 [26.57] 3.0 5 5.5 26.20 I IMESTONE \$25.0 7 61 T4 420m² C/H 2593 PZ TREE 3.0 60 m² ぃ

5m 10m 15m 20m 25m Scale 1:500

Building Type Cottage С н House Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [26.20] Datum and Pad Level (refer Operative Provision No. 5) + 26.0 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
 - Principal Boundary 1
- 2 Side Boundary (North)
- Side Boundary (South) 3
- Rear Boundary

Lot 62 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 62. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.20 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b. c.	Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot. N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments beyond Secondary S i. Permitted Encroachments beyond the Secondary Setback.	etback N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

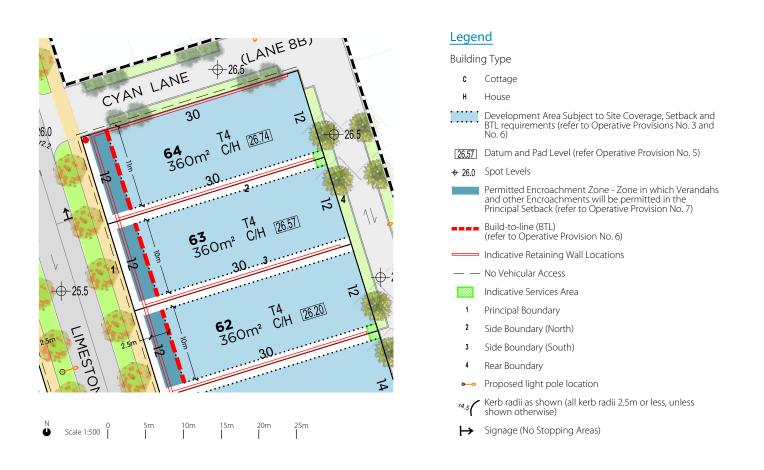
ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	255
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	illing
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • •	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
12.	Specific Design Requirement	• is fitted with Opaque Glass.
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions



LOT 63 TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

JINDEE



Lot 63 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 63. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.57 AHD

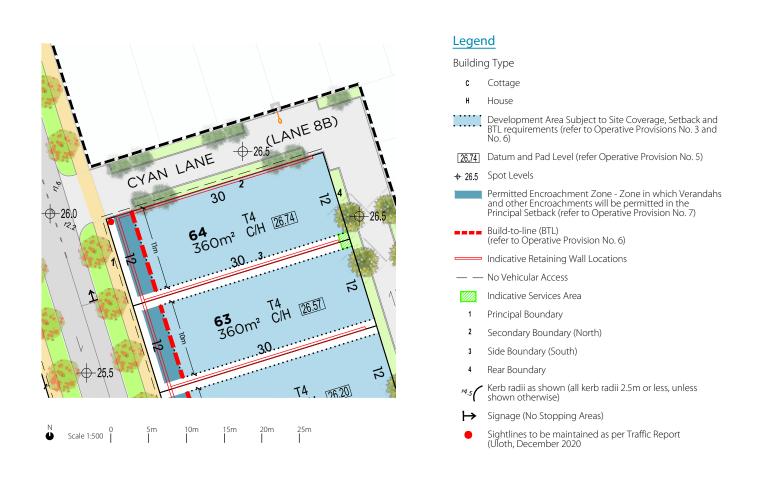
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments beyond Secondary S	Setback
	i. Permitted Encroachments beyond the Secondary Setback.	N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
•••••	i. Permitted Encroachments into Side Setback (North and South)	Eaves, shade devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	irements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acco	255
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	Illing
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Development of the Set Set Set Set Set Set Set Set Set Se
•••••	iv. Secondary Elevation	Boundary, unless Screened. Nil
•••••	•••••••••••••••••••••••••••••••••••••••	•••••••••••••••••••••••••••••••••••••••
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view.
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 64 TRANSECT T4 LOT TYPE Edge AREA (APPROX M²) 360 LOT FRONTAGE 12m

JINDEE



Lot 64 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 64. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard

ITEM	DESCRIPTION	REQUIREMENT
e.	Required Terrace Grouping	N/A
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.74 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
с. d.	Side Setback Line (North) Side Setback Line (South)	Nil Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 11.0 metres, measured 1.0 metre from the Side Boundary (South) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
.b.	 Encroachments into Secondary Set Permitted Encroachments into Secondary Setback. 	back N/A
с.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North)	N/A
d.	 Encroachments into Side Setback Permitted Encroachments into Side Setback (South) 	Eaves, shade devices and Attached Fences.
е.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Projecting Front, and a Double Verandah.

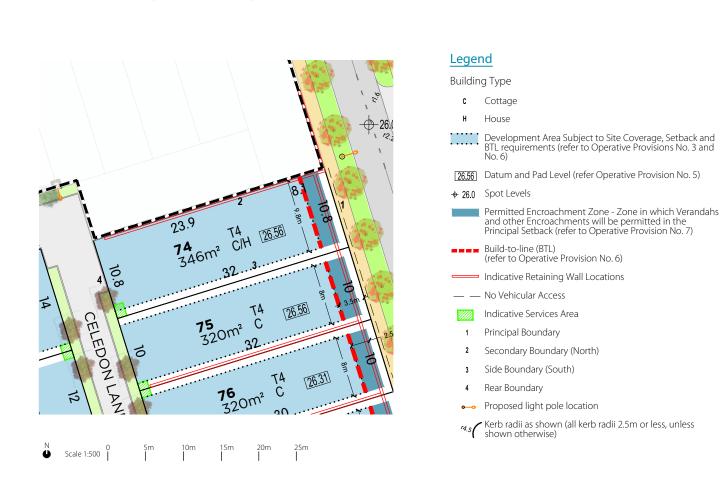
ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	1 bay
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard W	/alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor andi. Principal Elevationii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevationv. Side Elevation (North)vi. Side Elevation (South)	Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
13. a.	Refuse storage enclosures and co Required Bin Storage	Ilection Storage for 2 bins provided within the Lot and screened from public view
		Storage for 2 bins provided within the Lot and screened from
a.	Required Bin Storage Required Bin Collection Point Location (required by the City of	Storage for 2 bins provided within the Lot and screened from public view
a. b.	Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm
a. b. 14.	Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm
a. b. 14.	Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm



LOT 74 TRANSECT T4 LOT TYPE AREA (APPROX M²) 346 LOT FRONTAGE

Edge

10.8m



Lot 74 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 74. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.56 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
C.	Side Setback Line (North)	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the Side Boundary (South), for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 9.8 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g. h.	BTL Percentage Requirement for a Parapet Wall	80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line, extending to nil to the Side Setback (North), as restricted by the BCA. An exception to this is Steps, which are not restricted.
 b.	Encroachments into Secondary Setba	ck
•••••	i. Permitted Encroachments into Secondary Setback	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North)	N/A
d	Encroachments into Side Setback	••••••
	i. Permitted Encroachments into Side Setback (South)	Eaves, shade devices and Attached Fences.
е.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requir	ements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

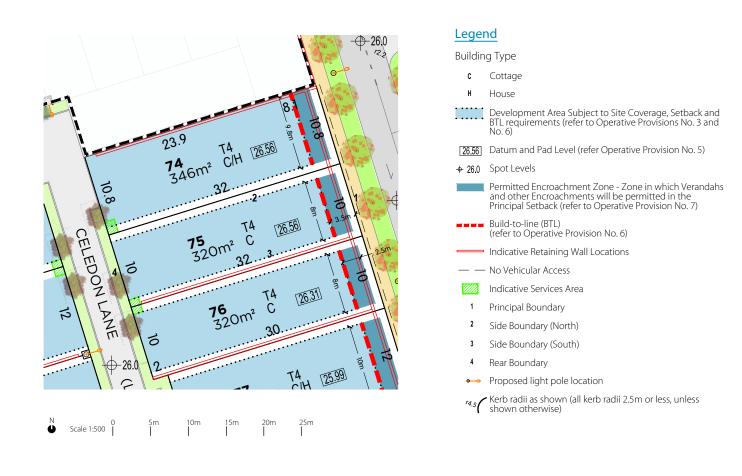
ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (South)
 d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	 Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot iv. Secondary Elevation v. Side Elevation (north) vi. Side Elevation (south) 	Nil Nil Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 75 TRANSECT T4 LOT TYPE AREA (APPROX M²) 320 LOT FRONTAGE 10m

Interior

JINDEE



Lot 75 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 75. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Groupng	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.56 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	75% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
•••••	ii. Extent to which Permitted	2.5 metres measured from
	Encroachments may encroach into the Principal Setback	the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba	ack
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setbacks (North and South)	Eaves, shade devices and Attached Fences.
d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
u.	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

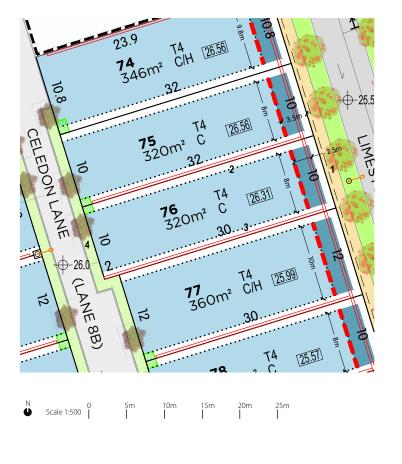
ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	255
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	 Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot 	Nil Nil • Openings (other than
		 Openings (other trian Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 76 TRANSECT T4 LOT TYPE AREA (APPROX M²) 320 LOT FRONTAGE 10m

Interior

JINDEE



Lege	Legend		
Building Type			
С	Cottage		
Н	House		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
26.31	Datum and Pad Level (refer Operative Provision No. 5)		
+ 25.5	Spot Levels		
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	- No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Side Boundary (North)		
3	Side Boundary (South)		
4	Rear Boundary		
••	Proposed light pole location		
↦	Signage (No Stopping Areas)		

Lot 76 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 76. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.31 AHD

Jindee Local Development Plan No 5.0 for Release 2 (Modification 1) | Individual Lot Plans | July 2020, ©2020 Studio LFA + robertsday

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	75% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback	N/A
	Encroachments into Side Setback	••••••
····	i. Permitted Encroachments into Side Setbacks (North and South)	Eaves, shade devices and Attached Fences.
d.	Encroachments into Rear Setback i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

0		
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard W	
a.	Type required	Attached Fence
11.	Privacy Drivacy Postrictions on 1st floor and	labovo
a. 	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook.
	vi. Side Elevation (South)	 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or
12. a.	vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
	Specific Design Requirement Is there a Specific Design	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a. 13.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is fitted with Opaque Glass. N/A Iection Storage for 2 bins provided within the Lot and screened from public
a. 13. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Iection Storage for 2 bins provided within the Lot and screened from public view
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is fitted with Opaque Glass. N/A Iection Storage for 2 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Iection Storage for 2 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Iection Storage for 2 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative



LOT 77 TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

Legend Building Type 26.56 C С Cottage н House TONE Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [26.31] C ANE 320m² [25.99] Datum and Pad Level (refer Operative Provision No. 5) 30 + 25.5 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) -26.0 [25.99] (LANE TA CIH Build-to-line (BTL) (refer to Operative Provision No. 6) **11** 36 Indicative Retaining Wall Locations 8B) — No Vehicular Access [25.57] Indicative Services Area 74 Ċ 00m² Principal Boundary 1 ⊕-25.5 30 2 Side Boundary (North) F 6 Side Boundary (South) 3 Rear Boundary 25.20 TA CIH Proposed light pole location 19 5m 10m 15m 20m 25m Scale 1:500

Lot 77 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 77. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	•••••••••••••••••••••••••••••••••••••••
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.99 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
 q.	BTL Percentage	80% minimum.
 h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into	nck N/A
	Secondary Setback.	••••••
с.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requir	ements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Wall	5
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor and al	DOVE
	 Principal Elevation Rear Elevation on or adjacent to 	Nil Nil
•••••	rear boundary	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
•••••		Boundary, unless Screened.
·····	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		 is Screened; or is fitted with Opaque Glass.
12.		is fitted with Opaque Glass.
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colleg	tion
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 78 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

ONE ٢4 26.31 76 Ċ Om² ___25.0 S TREE 26.0 9 E (LANE 8B) TA CIH [25,99] **11** 360m² 3 30 25.57 С 78 300m² **⊕**-25.5 30 25.20 TA CIH 2 30 6 -25.0 24.83 ٢Δ С 80 5m 10m 15m 20m 25m Scale 1:500

Legend Building Type Cottage С Н House Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [25.57] Datum and Pad Level (refer Operative Provision No. 5) + 25.5 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations - No Vehicular Access Indicative Services Area 1 Principal Boundary 2 Side Boundary (North) 3 Side Boundary (South) 4 Rear Boundary

Proposed light pole location

Lot 78 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 78. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.57 AHD

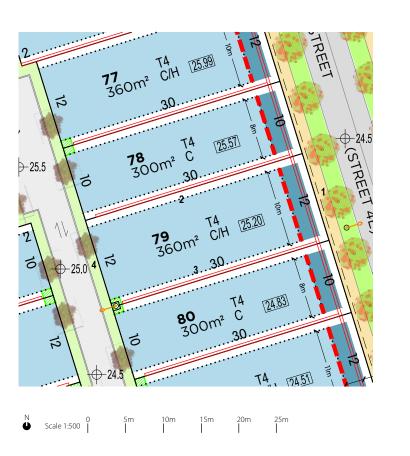
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
q.	BTL Percentage	75% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb	ack
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
······	Encroachments into Side Setback	••••••
•••••	i. Permitted Encroachments into Side Setback (North and	Eaves, Shade Devices and Attached Fences.
	South)	
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A
0	Rear Setback	
8.	Frontage/ Principal Elevation Requi	
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	255
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
		is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 79 TRANSECT T4 LOT TYPE AREA (APPROX M²) LOT FRONTAGE 12m

Interior 360



Legend Building Type С Cottage н House Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [25.20] Datum and Pad Level (refer Operative Provision No. 5) + 25.0 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations — No Vehicular Access Indicative Services Area Principal Boundary 1 2 Side Boundary (North) Side Boundary (South) 3 Rear Boundary Proposed light pole location

Lot 79 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 79. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	25.20 AHD

	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g. h.	BTL Percentage Requirement for a Parapet Wall	80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
 С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
••••	i. Permitted Encroachments into Side Setbacks (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting

	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	255
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	Illing
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
		Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and
	vi Side Elevation (South)	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	a minimum of 4.5m from the Side Boundary, unless
	vi. Side Elevation (South)	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
		a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
<u>12.</u> а.	vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
-	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a. 13.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A
a. 13. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A ection Storage for 2 bins provided within the Lot and screened from public view
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A N/A ection Storage for 2 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A ection Storage for 2 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14. 15.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A N/A ection Storage for 2 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative



LOT 80 T4 TRANSECT LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

-24.5 25.57 ٢4 78 300m² 79 T4 2520 360m² C/H 2520 -25.0 24.83 т4 С 300m² 80 30 3 81 T4 24.51 360m² CIH 24.51 30 - - 23.5 (LANE 8B) NDS BINE 107 85, 2 15 5m 10m 15m 20m 25m Scale 1:500

Legend		
Building Type		
С	Cottage	
н	House	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
24.83	Datum and Pad Level (refer Operative Provision No. 5)	
+ 24.5	Spot Levels	
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	· No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2	Side Boundary (North)	
3	Side Boundary (South)	
4	Rear Boundary	

Proposed light pole location

Lot 80 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('LP'), prescribe the specific design requirements applicable to the development of Lot 80. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

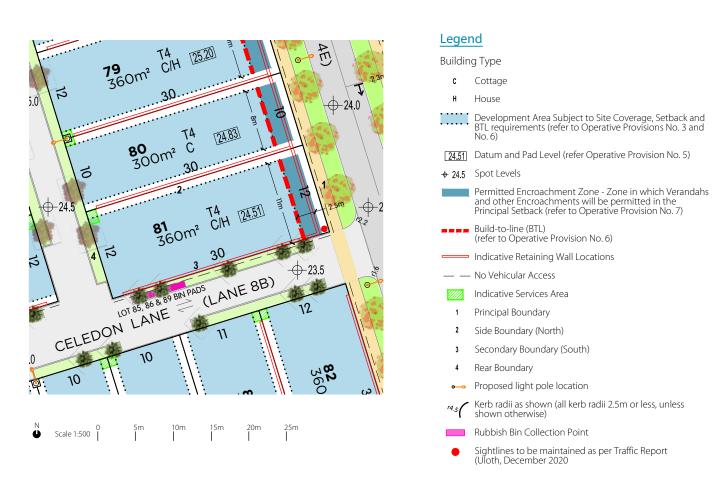
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	24.83 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b. c.	Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot. N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is located on the Rear Boundary Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g. h.	BTL Percentage Requirement for a Parapet Wall	80% minimum.
7.	Permitted Encroachments .	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setbacks (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d. 10.	Permitted Garage Disposition Attached Fencing and Sideyard Wal	Rear Direct, Rear Side Stack.
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor and a	above
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
	•••••••••••••••••••••••••••••••••••••••	•••••••••••••••••••••••••••••••••••••••
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
••••••	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a
		minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
		Refer - Private Realm Operative
17.	Exemptions to Planning Approval	Provisions



LOT 81 TRANSECT 74 LOT TYPE Edge AREA (APPROX M²) 360 LOT FRONTAGE 12m



Lot 81 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 81. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.51 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the Side Boundary (North), for a distance of up to 12 metres measured from the Rear Boundary.
 d.	Side Setback Line (South)	N/A
	Rear Setback Line	Is located on the Rear Boundary
с. f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 9.8 metres, measured 1.0 metre from the Secondary Boundary and Side Boundary (North) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback	N/A
С.	Encroachments into Side Setback.	•••••••••••••••••••••••••••••••••••••••
•••••	i. Permitted Encroachments into Side Setbacks (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Projecting Front, and a Double Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	1 bay
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (North)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard W	/alling
a.	Type required	Attached Fence
11.	Privacy	
a.	 Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot 	Nil Nil • Openings (other than Balconies, Verandahs or
		 terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	N/A
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 82 TRANSECT T4 LOT TYPE Edge AREA (APPROX M²) 360 LOT FRONTAGE 12m

81 360m² 30 **⊕**-23.5 (LANE 8B) BIN PADS 23.0 ١2 NE 22.5 ဖွ 22.0 -21.5 25m 5m 10m 15m 20m Scale 1:500

Legend

Building Type		
С	Cottage	
н	House	
SDR	Specific Design Requirements (refer to Operative Provision No.12)	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
23.70	Datum and Pad Level (refer Operative Provision No. 5)	
\$ 23.5	Spot Levels	
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Setback area (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	Entry Steps	
	No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2a + 2b	Secondary Boundary (East)	
3	Side Boundary (West)	
4	Rear Boundary	
0 0	Proposed light pole location	
r4.5	Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)	

Signage (No Stopping Areas) ↦

Lot 82 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('LP'), prescribe the specific design requirements applicable to the development of Lot 82. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Minimum No of Storeys Maximum No of Storeys	2 storeys 2 storeys plus loft
b.	Minimum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	23.70 AHD

6		
	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 10.05 metres measured from the Side Boundary (West); and
		Is parallel to and located 7.5 metres from the Principal Boundary within the Lot for a length of 1.95 metres measured from the Secondary Boundary.
b.	Secondary Setback Line	2(a) Is parallel to and located 1.95 metres from the Secondary Boundary within the Lot for a length of 4.0 metres measured from the Principal Setback Line; and
		2(b) Is located on the Secondary Boundary within the Lot as shown on the Plan.
С.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of the Side Setback Line (West) may be located on the Side Boundary (West), for a distance of up to 12 metres measured from the Rear Boundary.
 d.	Rear Setback Line	Is located on the Rear Boundary
e.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Secondary Boundary and Side Boundary (West) as shown on the
•••••	•••••••••••••••••••••••••••••••••••••••	Plan.
f.	BTL Percentage	80% minimum
g. 7.	Requirement for a Parapet Wall Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal and Second	dary Setback
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergolas, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	3.5 metres measured from the Principal Setback Line. Encroachment permitted over the entry stairs and portal with the exception of the bottom landing.
	Encroachments into Secondary Setbac	k
	i. Permitted Encroachments into Secondary Setback 2(a)	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
•••••	ii. Extent to which Permitted Encroachments may encroach into Secondary Setback 2(a)	1.95 metres measured from the Secondary Setback Line for a length of 4.0 metres measured from the Built to Line.
••••••	iii. Permitted Encroachments into Secondary Setback 2(b)	N/A
C.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A

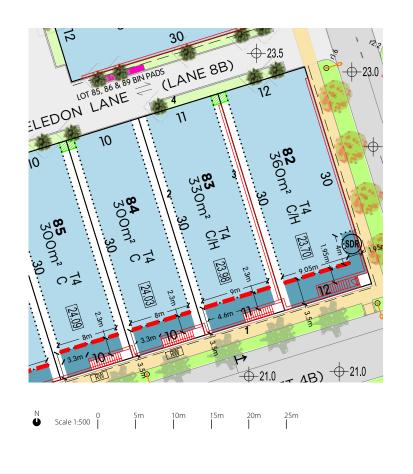
ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requiren	nents
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah A Return Verandah, a Projecting Front and a Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard Walling	9 Attached Fence
a.	Type required	
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	ve Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
	iv. Secondary Elevation v. Side Elevation (West)	Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
•••••	vi. Side Elevation	• is fitted with Opaque Glass. N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Gable End, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment - a Verandah or Terrace with a Pergola attached to the retaining wall on the Secondary Boundary. The width of the Verandah fronting the Secondary Elevation is to match the width of the Verandah on the Principal Elevation.
13.	Refuse storage enclosures and collection	on
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 83 T4 TRANSECT LOT TYPE AREA (APPROX M²) 330 LOT FRONTAGE 11m

Interior

JINDEE



Legend

Buildin	Building Type		
С	Cottage		
н	House		
SDR	Specific Design Requirements (refer to Operative Provision No.12)		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
23.98	Datum and Pad Level (refer Operative Provision No. 5)		
\$ 21.0	Spot Levels		
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	Entry Steps		
RW	Retaining Wall over 3.0m in height		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Side Boundary (West)		
3	Side Boundary (East)		
4	Rear Boundary		
••	Proposed light pole location		
14.5	Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)		
↦	Signage (No Stopping Areas)		

Lot 83 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('LP'), prescribe the specific design requirements applicable to the development of Lot 83. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cotttage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Minimum No of Storeys Maximum No of Storeys	2 storeys 2 storeys plus loft
b.	Minimum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.98 AHD

Jindee Local Development Plan No 5.0 for Release 2 (Modification 1) | Individual Lot Plans | July 2020, ©2020 Studio LFA + robertsday

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
а. b. c.	Principal Setback Line Secondary Setback Line Side Setback Line (West)	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot. N/A Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
d.	Side Setback Line (East)	A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
 g.	BTL Percentage	75% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	1) 3.5 metres measured from the Principal Setback Line for a length of 4.6 metres as shown on the Plan.
••••••		2) 2.3 metres measured from the Principal Setback Line adjacent to the stairs as shown on the Plan.
b.	 Encroachments into Secondary Setba Permitted Encroachments into Secondary Setback. 	ick N/A
C.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requir	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

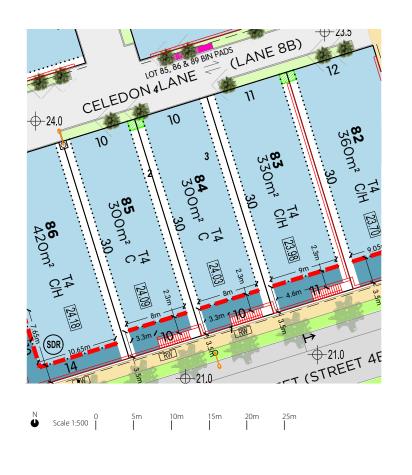
9.	DESCRIPTION	REQUIREMENT
	Garaging, Parking and Vehicle Acco	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • •	in Cocondany Floyation	•••••••••••••••••••••••••••••••••••••••
	iv. Secondary Elevationv. Side Elevation (East)	N/A Open Outlook.
		Openings permitted.
	vi. Side Elevation (West)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
	vi. Side Elevation (West)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
	vi. Side Elevation (West) Specific Design Requirement	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or
<u>12.</u> a.		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is fitted with Opaque Glass. No Storage for 2 bins provided within the Lot and screened from public
a. 13.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is fitted with Opaque Glass. No
a. 13. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative



LOT 84 T4 TRANSECT LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

JINDEE



Legend

Building Type		
с	Cottage	
н	House	
SDR	Specific Design Requirements (refer to Operative Provision No.12)	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
24.03	Datum and Pad Level (refer Operative Provision No. 5)	
↔ 21.0	Spot Levels	
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	Entry Steps	
RW	Retaining Wall over 3.0m in height	
	No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2	Side Boundary (West)	
3	Side Boundary (East)	
4	Rear Boundary	
••	Proposed light pole location	
↦	Signage (No Stopping Areas)	

Lot 84 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('LP'), prescribe the specific design requirements applicable to the development of Lot 84. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Minimum No of Storeys Maximum No of Storeys	2 storeys 2 storeys plus loft
b.	Minimum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.03 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
a.	BTL Percentage	75% minimum.
•••••• h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergolas, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	1) 3.5 metres measured from the Principal Setback Line for a length of 3.3 metres as shown on the Plan.
		2) 2.3 metres measured from the Principal Setback Line adjacent to the stairs as shown on the Plan.
b.	Encroachments into Secondary Setba	••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	i. Permitted Encroachments into	Eaves, Shade Devices and Attached
d.	Side Setback (East and West) Encroachments into Rear Setback.	Fences.
•••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requir	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

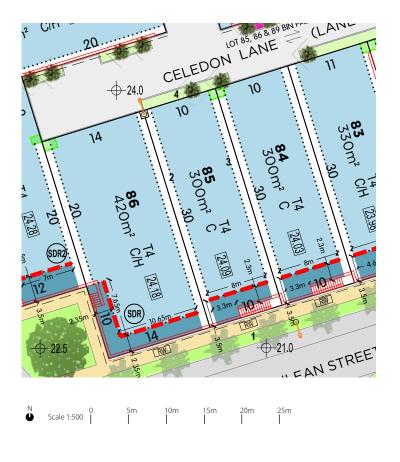
ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • •	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
	v. Side Elevation (Edst)	Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.		
	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	
13. a.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	ection Storage for 2 bins provided within the Lot and screened from public
	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle	ection Storage for 2 bins provided within
a.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle Required Bin Storage Required Bin Collection Point Location (required by the City of	Storage for 2 bins provided within the Lot and screened from public view
a. b.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	ection Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. b. 14.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	ection Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. b. 14.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	ection Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions



LOT 85 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

JINDEE



Legend

Buildir	ig Type
C	Cottage
н	House
(SDR)	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
24.09	Datum and Pad Level (refer Operative Provision No. 5)
+ 21.0	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Required Sideyard Wall (refer to Operative Provision No. 10)
	Indicative Retaining Wall Locations
	Entry Steps
RW	Retaining Wall over 3.0m in height
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (West)
3	Side Boundary (East)
4	Rear Boundary

Lot 85 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 85. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Minimum No of Storeys Maximum No of Storeys	2 storeys 2 storeys plus loft
b.	Minimum External Wall Height	7.5 metres.
C.	Lot Datum (from which Building Height is measured)	24.09 AHD

•--- Proposed light pole location

Jindee Local Development Plan No 5.0 for Release 2 (Modification 1) | Individual Lot Plans | July 2020, ©2020 Studio LFA + robertsday

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	A portion of one (1) of the Side Setback Lines (East or West)) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West)) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
 q.	BTL Percentage	75% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergolas, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	1) 3.5 metres measured from the Principal Setback Line for a length of 3.3 metres as shown on the Plan.
		2) 2.3 metres measured from the Principal Setback Line adjacent to the stairs as shown on the Plan.
b.	Encroachments into Secondary Setba	••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	i. Permitted Encroachments into	Eaves, Shade Devices and Attached
d.	Side Setback (East and West) Encroachments into Rear Setback.	Fences.
•••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requir	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

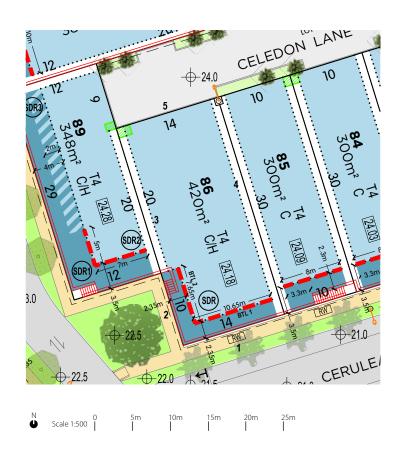
ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • •	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
	v. Side Elevation (East)	Openings permitted.
		 Verandahs, terracea and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public
 b.	Required Bin Collection Point Location (required by the City of Wanneroo)	view N/A
b. 14.	Location (required by the City of	view
	Location (required by the City of Wanneroo)	view N/A Refer - Private Realm Operative
14.	Location (required by the City of Wanneroo) Landscaping + Street Trees	view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
14. 15.	Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative



LOT 86 T4 TRANSECT LOT TYPE AREA (APPROX M²) 420 LOT FRONTAGE 14m

Corner

JINDEE



Legend

Buildin	g Type
с	Cottage
н	House
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
24.18	Datum and Pad Level (refer Operative Provision No. 5)
⊕ 24.0	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Required Sideyard Wall (refer to Operative Provision No. 10)
	Indicative Retaining Wall Locations
	Entry Steps
RW	Retaining Wall over 3.0m in height
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary (West)
3	Side Boundary (West)
4	Side Boundary (East)

Rear Boundary 5

Lot 86 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('LP'), prescribe the specific design requirements applicable to the development of Lot 86. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.18 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary and extends for a length of 7.65m measured from the Principal Setback Line, within the Lot as shown on the
С.	Side Setback Line (East)	Plan. Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary. within the Lot
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.65 metres within the Lot as shown on Plan, and
		BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 7.65 metres measured form the Principal Setback Line, within the Lot as shown on Plan.
g.	BTL Percentage	1) 80% minimum 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setbac	k
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the
		principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line. Encroachment is permitted to extend over the entry stairs and bottom landing.
с.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
•••••	i. Permitted Encroachments into	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirer	ments
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wallin	-
a. 11.	Type required	Attached Fence
-	Privacy	
a.	Privacy Restrictions on 1st floor and abo i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (East)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment - a Verandah or Terrace with a Pergola attached to the retaining wall on the Secondary Boundary. The width of the Verandah fronting the Secondary Elevation is to match the width of the Verandah on the Principal Elevation.
13.	Refuse storage enclosures and collect	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

Jindee Local Development Plan No 5.0 for Release 2 (Modification 1) | Individual Lot Plans | July 2020, ©2020 Studio LFA + robertsday



LOT 89 TRANSECT T4 LOT TYPE Edge AREA (APPROX M²) 348 LOT FRONTAGE 12m

90 384m² CIL 20 CEL **⊕**-24.0 12 10 .0 DR: ____24.0 14 TOR -23.5 <u></u> <u></u> 23.0 5m 10m 5m 20m 25m Scale 1:500

Legend

Buildin	g Type
с	Cottage
н	House
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
	Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area (refer to Operative Provision No. 7)
24.28	Datum and Pad Level (refer Operative Provision No. 5)
\$ 23.5	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
-	Required Sideyard Wall (refer to Operative Provision No. 10)
	Indicative Retaining Wall Locations
	Entry Steps
RW	Retaining Wall over 3.0m in height
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary (South)
2	Secondary Boundary (West)
3	Side Boundary (North)
4	Side Boundary (East)
5	Rear Boundary

- Rear Boundary
- •--• Proposed light pole location

Lot 89 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('LP'), prescribe the specific design requirements applicable to the development of Lot 89. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A
	. .	•••••••••••••••••

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	24.28 AHD

NOTE: MINOR MODIFICATION TO 'SDR 1' (AS SHOWN) CURRENTLY BEING PROCESSED FOR APPROVAL BY CITY OF WANNEROO

VIREMENT
allel to and located 3.5 metres from incipal Boundary within the Lot.
allel to and located 4.0 metres from econdary Boundary within the Lot.
allel to and located 1.0 metre from de Boundary (North) within the Lot. tion of one (1) of the Side Setback (North or East) may be located e relevant Side Boundary, for a ice of up to 6 metres measured the Rear Boundary.
allel to and located 1.0 metre from de Boundary (East) within the Lot. tion of one (1) of the Side Setback (North or East) may be located e relevant Side Boundary, for a ice of up to 12 metres measured the Side Boundary (North).
ated on the Rear Boundary.
STL 1) Is parallel to and located etres from the Principal Boundary n) for a length of 7.0 metres, within t as shown on Plan, and Is parallel to and located 4.0 is from the Secondary Boundary) for a length of 5.0 metres ured from the Principal Setback within the Lot as shown on Plan.
% minimum 2) 100%
xtent to which any Encroachment ncroach into any setback must take ccount of the BCA and engineering nces and limitations of any ing walls.
dahs, Pergolas, Balconies, Eaves, Windows, Portico to define the pal entrance, Plinths or Piers for the dah, Steps, Towers, a Terminating Element.
encroach 3.5 metres measured from incipal Setback Line. Encroachment permitted to extend over the entry and bottom landing.
dahs, Pergolas, Balconies, Eaves, findows, Portico to define the pal entrance, Plinths or Piers for the dah, Steps, Towers and Projecting s provided they comply with the fic Design Requirements in this ILP ling the required Gable Ends and the same width.
ncroach 4.0 metres measured from econdary Setback Line. The building may encroach into the Secondary ck by 2.0 metres measured from econdary Setback Line provided Verandah or Pergola is attached to uilding and extends to and attaches Retaining Wall.
, Shade Devices and Attached rs.
dah
ht Front. A Projecting Front is permitted
ŀ

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	<u> </u>
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and East)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11. a.	Privacy Privacy Restrictions on 1st floor and above	
····	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook.
		Openings permitted. Verandabs_terraces_and Balconies
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
· · · · · · · · · ·	vi. Side Elevation (East)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - Two required (mandated) SDR's and one recommended SDR. SDR 1 is mandated being a Projecting Front setback not more than 1.0 metre from the Secondary Boundary and not less than 5.0 metres wide with a required Gable End to the side of the Principal Elevation and non trafficable Landscaping between the Gable End and the retaining wall with no fence. SDR 2 is mandated being a Gable End to the side of the Principal Elevation to the same width as SDR 1. SDR 3 is recommended, being a Projecting Front with a Gable End and is required to mirror all elements of SDR 1 noted within this ILP including that the Gable End is the same width as the Gable End in SDR 1. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions



24.0

24.0

LOCAL DEVELOPMENT PLAN 5.0 **RELEASE 2 - INDIVIDUAL LOT PLAN** (LDP No. 5.0)

1

5

- - - - - 2 4 .0

ŝ

25m

14

25.50

32

0

90 T4 384m² CIH 24.56

24.96

27

12

5m |

10m

15m

20m

92 320m

LOT 90 T4 TRANSECT LOT TYPE AREA (APPROX M²) 384 LOT FRONTAGE 12m

Interior

Legend Building Type С Cottage н House Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [24.56] Datum and Pad Level (refer Operative Provision No. 5) + 24.5 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) CELE Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations 10 No Vehicular Access Indicative Services Area Principal Boundary 1 2 Side Boundary (North) 00 O 3 Side Boundary (South) 4 Rear Boundary

Proposed light pole location

Lot 90 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 90. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

0 Scale 1:500

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.56 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b. c.	Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot. N/A. Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary. Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
с.	Encroachments into Side Setback	••••••
•••••	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor and	above
•••••	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • • •	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (North)	Open Outlook.
	v. Side Elevation (North)	
		 Openings permitted. Verandahs, terraces and Balconies to be setback
		a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		 is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
	No modification of building	Refer - Private Realm Operative



LOT 91 TRANSECT T4 LOT TYPE AREA (APPROX M²) 384 LOT FRONTAGE 12m

Interior

93 420m² CIH 25.10 Legend Building Type С Cottage 30 н House б -25.0.30 Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) 25.36 92 320m² [24.96] Datum and Pad Level (refer Operative Provision No. 5) + 24.0 Spot Levels 3 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 124.96 **91** 38 Build-to-line (BTL) (refer to Operative Provision No. 6) ¢-24.0 Indicative Retaining Wall Locations 3 — No Vehicular Access 90 T4 24.56 384m² CIH 24.56 Indicative Services Area Principal Boundary 1 2 Side Boundary (North) CE 3 Side Boundary (South) 24.0 Rear Boundary Proposed light pole location 5m 10m 15m 20m 25m Scale 1:500 ä

Lot 91 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 91. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.96 AHD

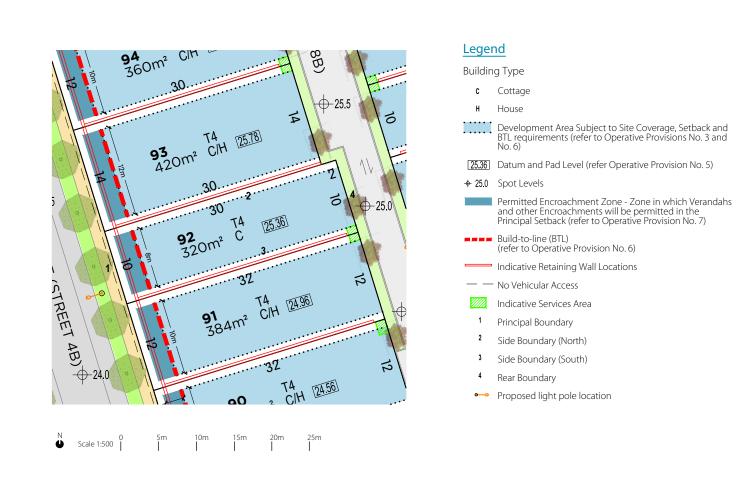
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 3.5 metres from the Principal Boundary within the
).	Secondary Setback Line Side Setback Line (North)	Lot. N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback.	ack N/A
C.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North + South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d. 10.	Required Garage Disposition Attached Fencing and Sideyard Wal	Rear Direct, Rear Side Stack.
	Type required	Attached Fence
a. 11.	Privacy	Attached rence
a.	Privacy Restrictions on 1st floor and a	above
	i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
•••••	iu Cocondany Elevation	Boundary, unless Screened.
•••••	iv. Secondary Elevation v. Side Elevation (North)	Nil Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
		is Screened; oris fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 92 TRANSECT T4 LOT TYPE AREA (APPROX M²) 320 LOT FRONTAGE 10m

Interior



Lot 92 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('LP'), prescribe the specific design requirements applicable to the development of Lot 92. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.36 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	ls parallel to and 3.5 metres from the Principal Boundary within the Lot.
 b.	Secondary Setback Line	N/A
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
е.	Rear Setback Line	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
 g.	BTL Percentage	75% minimum.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
 b.	Encroachments into Secondary Setb	••••••
	 Permitted Encroachments into Secondary Setback. Encroachments into Side Setback 	N/A
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
0	Frontage/ Principal Elevation Requi	rements
8.		Verandah
а.	Required Private Frontage Type	Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	SS
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Wal	<u> </u>
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor and a	hove
•••••	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
		 is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ction
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 93 TRANSECT T4 LOT TYPE AREA (APPROX M²) 420 LOT FRONTAGE 14m

Interior

360m 26.0 2 (LANE) CIH 26.15 (BB) **94** 360r ⊕-25.5 \$ TA CIH 25.78 **93** 420m² 7 30. б 30 [25.36] 32 Side Boundary (South) TA CIH 24.96 Rear Boundary 91 AN

25m N 0 Scale 1:500 5m 10m 15m 20m

Legend		
Building Type		
С	Cottage	
н	House	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
25.78	Datum and Pad Level (refer Operative Provision No. 5)	
+ 25.5	Spot Levels	
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2	Side Boundary (North)	
2		

Proposed light pole location

Lot 93 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('LP'), prescribe the specific design requirements applicable to the development of Lot 93. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

TERRACE (STREE

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard.
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.78 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 12.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb	back
	i. Permitted Encroachments into Secondary Setback.	N/A
с.	Encroachments into Side Setback	••••••
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard W	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iv. Side Elevation (North)	 Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Open Outlook Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened
•••••	v. Side Elevation (South)	Screened. Restricted Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 94 TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

96 420m² ANE 26.44 **95** 36 -26. (LANE . 5 T4 CIH 26.15 i.0 8B SWIMMER -25 7 93 T4 25.78 420m² CIH 25.78 30 ¢ 24.5 6 30 ٢A 125.36 5m | 10m 5m 20m 25m Scale 1:500 ö

Legend Building Type С Cottage н House Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [26.15] Datum and Pad Level (refer Operative Provision No. 5) + 26.0 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations — No Vehicular Access Indicative Services Area Principal Boundary 1 2 Side Boundary (North) 3 Side Boundary (South) Rear Boundary

Proposed light pole location

Lot 94 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 94. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.15 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
а.	BTL Percentage	80% minimum
•••••• h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
•••••	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Flement
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb i. Permitted Encroachments into	ack N/A
С.	Secondary Setback. Encroachments into Side Setback i. Permitted Encroachments into	Eaves, Shade Devices and Attached
	Side Setback (North and South)	Fences.
d.	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	255
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walli	ng
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor andi. Principal Elevation	above Nil
••••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 95 T4 TRANSECT LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

Legend CFI **⊕**-26.0 Building Type 0 С Cottage 30 F 96 420m² CIH 2644 н House CELEDON . Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [26.44] Datum and Pad Level (refer Operative Provision No. 5) + 25.0 Spot Levels ANE 3 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) CIH 26.44 Build-to-line (BTL) (refer to Operative Provision No. 6) -26.0 Indicative Retaining Wall Locations V 3 — No Vehicular Access ___25.0 TA CIH [26.15] Indicative Services Area Principal Boundary 1 2 Side Boundary (North) 3 Side Boundary (South) SNIN Rear Boundary F 25.0 Proposed light pole location TA 125.78 Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise) 10m 5m 20m 25m Scale 1:500 5m Signage (No Stopping Areas)

Lot 95 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 95. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	26.44 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	, , ,
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Flement
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
ь b.	Encroachments into Secondary Setba	ack
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
.d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	255
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wallin	ng
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a	above
•••••	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Penudary, unless Screened
•••••	iv. Secondary Elevation	Boundary, unless Screened. Nil
•••••	iv. Secondary Elevation v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		is Screened; or
10		 is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 96 TRANSECT 74 LOT TYPE Edge AREA (APPROX M²) 420 LOT FRONTAGE 14m

Legend Building Type С Cottage CELEDON LANE н House Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) ⊕-26.0 [26.44] Datum and Pad Level (refer Operative Provision No. 5) + 25.0 Spot Levels 7 Permitted Encroachment Zone - Zone in which Verandahs 96 420m² CIH 2644 CELED 25.5 and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) ON 30 Indicative Retaining Wall Locations — No Vehicular Access 3 ANT TA CIH 26.44 Indicative Services Area Principal Boundary 1 Secondary Boundary (North) 2 \mathbb{A} Side Boundary (South) 3 3 Rear Boundary 4 -250 ⊕ TA [26.15] Proposed light pole location Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise) 10m 5m 20m 25m Scale 1:500 Signage (No Stopping Areas) Sightlines to be maintained as per Traffic Report (Uloth, December 2020

Lot 96 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 96. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.44 AHD

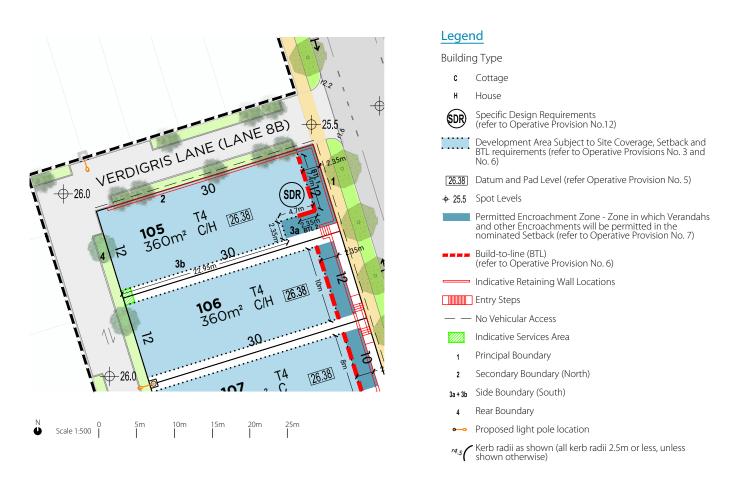
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
C.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 13.0 metres, measured 1.0 metre from the Secondary Boundary and Side Boundary as shown on the Plan.
g. h.	BTL Percentage Requirement for a Parapet Wall	80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may	2.5 metres measured from the Principal Setback Line. An
	encroach into the Principal Setback	exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	 Encroachments into Rear Setback. Permitted Encroachments into Rear Setback 	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Projecting Front, and a Double Verandah.
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South)
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.

	DESCRIPTION	REQUIREMENT
10.	Attached Fence and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevationii. Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
• • • • • • • •	v. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		 is Screened; or
	vi. Side Elevation	is fitted with Opaque Glass.N/A
10	Specific Design Requirement	
12.	opeenie besign nequirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
a. 13.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co	Dilection Storage for 2 bins provided within the Lot and screened from
a. 13. a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of	Dilection Storage for 2 bins provided within the Lot and screened from public view
a. 13. a. b.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm
a. 13. a. b.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm
a. 13. a. b. 14. 15.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm



LOT 105 TRANSECT T4 LOT TYPE Edge AREA (APPROX M²) 360 LOT FRONTAGE 12m

JINDEE (LC



Lot 105 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 105. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	26.38 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.45 metres measured from the Secondary Boundary (North).
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
с.	Side Setback Line (South)	3(a) Is parallel to and located 3.35 metres from the Side Boundary (South) within the Lot for a length of 4.7 metres measured from the Principal Setback Line; and
		3(b) Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot for a length of 22.95 metres measured from the Rear Boundary.
		A portion of the Side Setback Line (South 3b) may be located on the Side Boundary (South 3b), for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, measured 1.0 metre from the Secondary Boundary (North), and extends for a length of 7.4 metres as shown on the Plan, and
		BTL 2) Is parallel to and located 3.55 metres from the Side Boundary (South)
	BTL Percentage Requirement for a Parapet Wall	within the Lot and extends 2.35 metres measured from the Principal Setback Line, as shown on the Plan. 1) 90% minimum 2) 100% N/A
h.	•••••••••••••••••	within the Lot and extends 2.35 metres measured from the Principal Setback Line, as shown on the Plan. 1) 90% minimum 2) 100%
g. h. 7. a.	Requirement for a Parapet Wall	within the Lot and extends 2.35 metres measured from the Principal Setback Line, as shown on the Plan. 1) 90% minimum 2) 100% N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. Verandahs, Balconies, Eaves, Bay Windows, Plinths or Piers for the
h. 7. a.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	within the Lot and extends 2.35 metres measured from the Principal Setback Line, as shown on the Plan. 1) 90% minimum 2) 100% N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. Verandahs, Balconies, Eaves, Bay Windows, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
h. 7. a.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	within the Lot and extends 2.35 metres measured from the Principal Setback Line, as shown on the Plan. 1) 90% minimum 2) 100% N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. Verandahs, Balconies, Eaves, Bay Windows, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
h. 7. a.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback	within the Lot and extends 2.35 metres measured from the Principal Setback Line, as shown on the Plan. 1) 90% minimum 2) 100% N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. Verandahs, Balconies, Eaves, Bay Windows, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. N/A 3a - Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for
h. 7. a.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback i. Permitted Encroachments into	within the Lot and extends 2.35 metres measured from the Principal Setback Line, as shown on the Plan. 1) 90% minimum 2) 100% N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. Verandahs, Balconies, Eaves, Bay Windows, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. N/A 3a - Verandahs, Balconies, Eaves, Bay Windows, Portico to define the
h. 7. a.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback i. Permitted Encroachments into	within the Lot and extends 2.35 metres measured from the Principal Setback Line, as shown on the Plan. 1) 90% minimum 2) 100% N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. Verandahs, Balconies, Eaves, Bay Windows, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. N/A 3a - Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, and Steps. 3b - Eaves, Shade Devices and Attached
h. 7. 7. a. b.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Side Setback (South) ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) Encroachments into Rear Setback.	within the Lot and extends 2.35 metres measured from the Principal Setback Line, as shown on the Plan. 1) 90% minimum 2) 100% N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. Verandahs, Balconies, Eaves, Bay Windows, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. N/A 3a - Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, and Steps. 3b - Eaves, Shade Devices and Attached Fences. 3a - 2.35 metres measured from the Side Setback Line. An exception to this

	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirem	ents
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah (with the return on the South of the Lot), a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South)
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor and abov	2
••••	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies
		to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (South)	from a Side Boundary, unless Screened. Nil
	iv. Secondary Elevation v. Side Elevation (South)	from a Side Boundary, unless Screened.
	•••••••••••••••••••••••••••••••••••••••	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
	v. Side Elevation (South)	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
	•••••••••••••••••••••••••••••••••••••••	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
12. a.	v. Side Elevation (South) vi. Side Elevation	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, 	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. • N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). The Verandah is to attach to the retaining wall on the Principal Boundary and the retaining wall on the north of the stairs accessed from the Principal Boundary.
a. 13.	v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. • N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). The Verandah is to attach to the retaining wall on the Principal Boundary and the retaining wall on the north of the stairs accessed from the Principal Boundary.
a. 13. a.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection 	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. • N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). The Verandah is to attach to the retaining wall on the Principal Boundary and the retaining wall on the north of the stairs accessed from the Principal Boundary. n
a. 13. a. b.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection Required Bin Storage Required Bin Collection Point Location 	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. • N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). The Verandah is to attach to the retaining wall on the Principal Boundary and the retaining wall on the north of the stairs accessed from the Principal Boundary. n Storage for 2 bins provided within the Lot and screened from public view
a.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collectio Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. • N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). The Verandah is to attach to the retaining wall on the Principal Boundary and the retaining wall on the north of the stairs accessed from the Principal Boundary. Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b. 14.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees 	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. • N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). The Verandah is to attach to the retaining wall on the Principal Boundary and the retaining wall on the Principal Boundary. n Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. 14.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collectio Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional 	from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. • N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). The Verandah is to attach to the retaining wall on the Principal Boundary and the retaining wall on the Principal Boundary. N Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions



LOT T4 TRANSECT LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

106 Interior

VERDIGRIS LANE (LANE 8B) Legend Building Type С Cottage н House **∲**-26.0 30 Specific Design Requirements (refer to Operative Provision No.12) (SDR) **105** T4 360m² CIH 26.38 Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [26.38] Datum and Pad Level (refer Operative Provision No. 5) 1 + 26.0 Spot Levels TA CIH 26.38 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 1**06** 360 Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations 26.38 -26.0 Entry Steps 107 Ċ 300m² No Vehicular Access Indicative Services Area 6 Principal Boundary 2 Side Boundary (North) [26.21] 3 Side Boundary (South) 4 Rear Boundary 5m 10m 5m 20m 25m Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise) Scale 1:500 ö Signage (No Stopping Areas) ↦

Lot 106 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 106. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.38 AHD

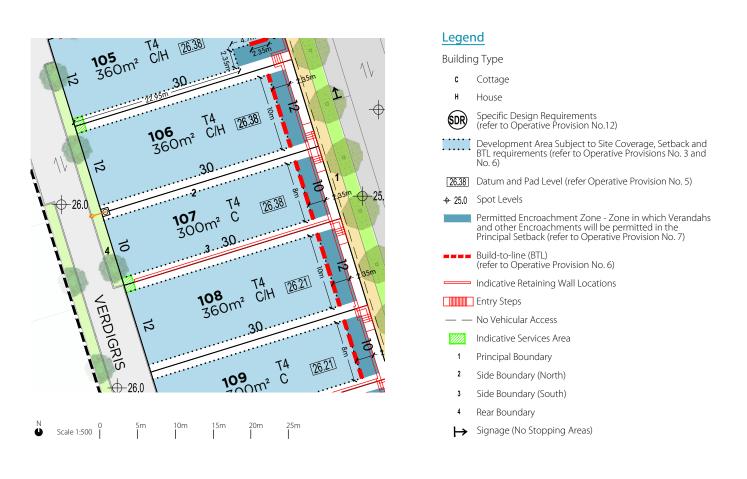
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
е.	Rear Setback Line	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	within the Lot. Yes. Is parallel to and located 3.55 metres from the Principal Boundary
g.	BTL Percentage	within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan. 80% minimum.
h. 7.	Required Parapet Wall Locaiton Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
••••••	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
••••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback.	ck N/A
с.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Require	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	55
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wallin	g
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and ai. Principal Elevation	bove Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Development of the Screened of the
•••••	iv. Secondary Elevation	Boundary, unless Screened. N/A
•••••	v. Side Elevation (North)	Open Outlook
	v. Side Elevation (North)	Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opague Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ction
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

107 Interior



Lot 107 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 107. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.38 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback	N/A
·····	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Require	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	SS
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wallin	ng
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	Nil Nil Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening
		 consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
		 is a celestial window, of is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	Is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ction
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

108 Interior

Legend ⊕-25.) 26.38 TA CIH Building Type 106 360m² С Cottage н House 30 Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) 25.0 26.38 26.0 107 300m² C [26.21] Datum and Pad Level (refer Operative Provision No. 5) + 25.0 Spot Levels 6 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) [26.21] TA CIH VERDIGRIS Build-to-line (BTL) (refer to Operative Provision No. 6) 108 Indicative Retaining Wall Locations 3 Entry Steps — No Vehicular Access 26.21 Indicative Services Area 109 300m² С -26.0 Principal Boundary .30 1 6 2 Side Boundary (North) Side Boundary (South) 25.95 3 74 Ċ 110 Rear Boundary 5m | 10m 15m 20m 25m Ö Scale 1:500

Lot 108 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 108. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.21 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South)
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	••••••
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
а.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Wall	ling
a.	Type required	Attached Fence
11.	Privacy	1
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	 Nil Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
••••		Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
12.	Specific Decign Requirement	is fitted with Opaque Glass.
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ction
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

109 Interior

IMMET 107 300m² С 6 26.21 TA CIH 108 VERDIGRIS 26.21 109 C 300m² -26.0 30 6 LANE (LANEE 25.95 Ċ Om² 30 6 111 420m² 25.82 5m 10m 15m 20m 25m Scale 1:500 ö

Legend Building Type С Cottage н House Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [26.21] Datum and Pad Level (refer Operative Provision No. 5) + 26.0 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations Entry Steps - No Vehicular Access Indicative Services Area 1 Principal Boundary 2 Side Boundary (North) Side Boundary (South) 3 Rear Boundary

Lot 109 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 109. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.21 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South)
		within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	75% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached
d.	Side Setback (North and South) Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	Fences. N/A
8.	Frontage/ Principal Elevation Requi	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	55
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wallin	g
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent	bove Nil Nil
	to rear boundary iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
12.	Spacific Design Requirement	is fitted with Opaque Glass.
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ction
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 110 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

Legend 24.5 TA CIH 26.21 Building Type 108 360m² С Cottage SIGRIS н House 5 30 (SDR) 26.21 тА С 0-26.0 109 300m² No. 6) .30 0-24,5 6 LANE (LANE 88) + 24.5 Spot Levels 25.95 110 С 300m² 30 Ъ TA CIH Entry Steps Om² 30 2 3 5m 10m 15m 20m 25m 0 Scale 1:500

Specific Design Requirements (refer to Operative Provision No.12) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and [25.95] Datum and Pad Level (refer Operative Provision No. 5) Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations — No Vehicular Access Indicative Services Area Principal Boundary Side Boundary (North) Side Boundary (South) Rear Boundary

Lot 110 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 110. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
а.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	25.95 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South)
		within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	75% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached
d.	Side Setback (North and South) Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	Fences. N/A
8.	Frontage/ Principal Elevation Requi	rements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

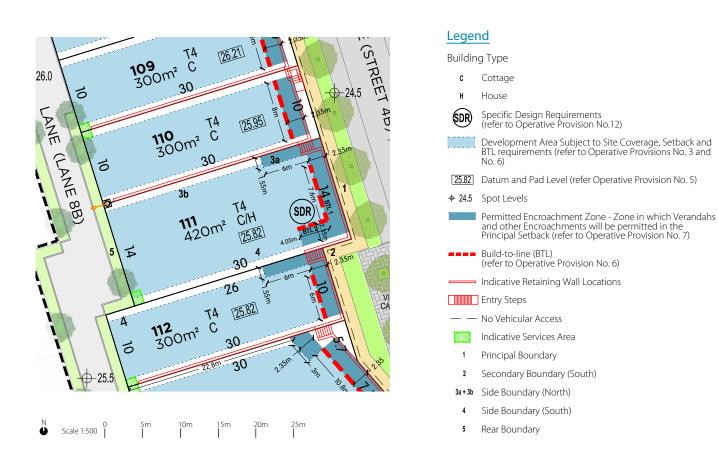
ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	55
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wallin	g
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent	bove Nil Nil
	to rear boundary iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
12.	Spacific Design Requirement	is fitted with Opaque Glass.
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ction
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 111 TRANSECT T4 LOT TYPE Corner AREA (APPROX M²) 420

LOT FRONTAGE

420 18m (14m + 4m)



Lot 111 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 111. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House.
C.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard

ITEM	DESCRIPTION	REQUIREMENT
e.	Required Terrace Grouping	N/A
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.82 AHD
	MINOR MODIFICATION of EXTENT TO	

INTO SECONDARY SETBACK (AS SHOWN) CURRENTLY BEING PROCESSED FOR APPROVAL BY CITY OF WANNEROO (PROVISION 7b (ii))

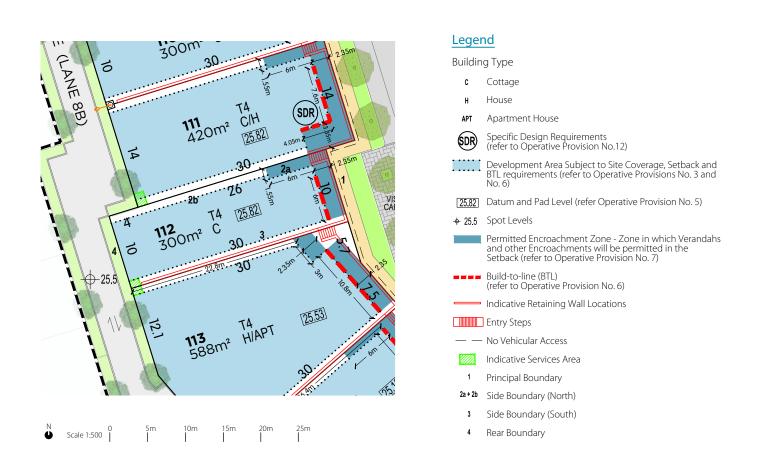
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	Is parallel to and located 3.35 metres from the Secondary Boundary within the Lot. 3(a) Is parallel to and located 1.55 metres from the Side Boundary (North) within the Lot for a length of 6.0 metres measured from the Principal Setback Line; and
		3(b) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot for a length of 21.65 metres measured from the Rear Boundary. A portion of one (1) of the Side Setback Lines (North (3(b) or South) may be located on the relevant Side Boundary for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot, as depicted on the Plan. A portion of one (1) of the Side Setback Lines (North 3(b) or South) may be located on the relevant Side Boundary, for a
e.	Rear Setback Line	distance of up to 12 metres measured from the Rear Boundary. Is located on the Rear Boundary within
f.	Build-to-Line (BTL) Location	the Lot. Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 7.6 metres measured from the Secondary Setback Line, within the Lot as shown on the Plan, and
		BTL 2) Is parallel to and located 3.35 metres from the Secondary Boundary for a length of 4.05 metres within the Lot as shown on the Plan
g.	BTL Percentage	1) 90% minimum 2) 100%
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into	Verandahs, Balconies, Eaves, Bay Windows,
	Principal Setback ii. Extent to which Permitted Encroachments may encroach into	Plinths or Piers for the Verandah and Steps. May encroach up to the Principal Boundary.
b.	the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Plinths or Piers for the Verandah and Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	May encroach 2.35 metres from the Secondary Setback Line.
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback	3a - Verandahs, Balconies, Eaves, Portico to define the principal entrance, Plinths or Piers for the Verandah, and Steps.
		3b + 4 - Eaves, Shade Devices and Attached Fence.
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback	3a - May encroach up to the Side Boundary as depicted on the Plan.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. A Return Verandah and a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage, House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
••••••	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North)	Nil Open Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from
••••••	vi. Side Elevation (South)	the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the
		 Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - The SDR is a Return Verandah which is to return perpendicular from the Principal Boundary for at least 6.4 metres together with Landscaping between the Return Verandah and the Secondary Boundary. No fence is permitted within 1.0 metre of the Secondary Boundary for 6.4 metres measured from the Principal Boundary. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.
13.	Refuse storage enclosures and collection	
a. b.	Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Storage for 2 bins provided within the Lot and screened from public view N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

112 Interior



Lot 112 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 112. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.82 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line Secondary Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot. N/A
C.	Side Setback Line (North)	2(a) Is parallel to and located 1.55 metres from the Side Boundary (North) within the Lot for a length of 6.0 metres measured from the Principal Setback Line; and
		2(b) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot for a length of 21.65 metres measured from the Rear Boundary.
	Side Setback Line (South)	A portion of the Side Setback Lines (North 2(b) or South) may be located on the relevant Side Boundary for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre
		from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Is parallel to and located 2.35 metres from the Principal Boundary for a length of 6.0 metres measured from the the Side Setback Line (South), within the Lot as shown on Plan.
g.	BTL Percentage	100%
h. 7.	Requirement for a Parapet Wall Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into	2a- Gatehouse, Eaves, Shade
	Side Setback (North and South)	Devices and Attached Fences. 2b + 3 - Eaves, Shade Devices and
d.	Encroachments into Rear Setback.	Attached Fences.
••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	255
a.	Garaging required for this minimum number of cars	Cottage - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	•••••••••••••••••••••••••••••••••••••••
	i. Principal Elevation ii. Rear Elevation on or adjacent	Nil Nil
	to rear boundary iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning	Refer - Private Realm Operative
17.	Approval	Provisions



LOT 113 TRANSECT

LOT TYPE

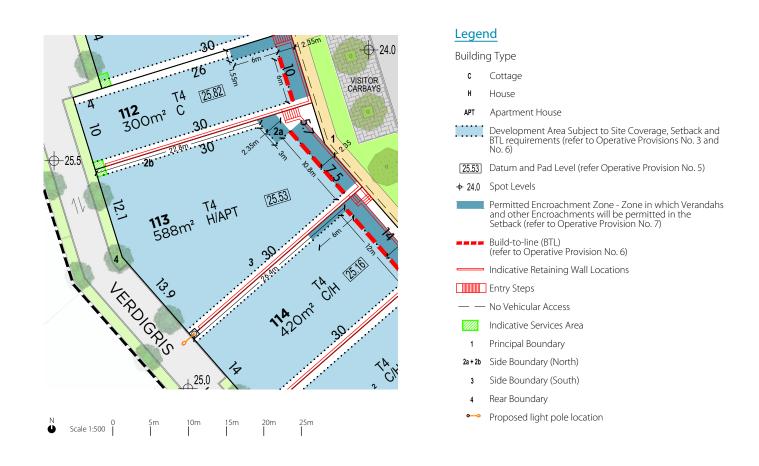
AREA (APPROX M²)

LOT FRONTAGE

T4

Interior

588 13.2m (5.7m + 7.5m)



Lot 113 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 113. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	25.53 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.8 metres measured 1.0 metre from the Side Boundary (South); and parallel to and located 2.35 metres behind the Principal Setback Line within the Lot and extends to the Side Boundary (North).
b. c.	Secondary Setback Line Side Setback Line (North)	N/A 2(a) Is parallel to and located 11.8 metres from the Side Boundary (South) within the Lot for a length of 2.35 metres measured from the Principal Setback Line; and
		2(b) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot for a length of 22.8 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	A portion of the Side Setback Lines (North 2(b) or South) may be located on the relevant Side Boundary for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North 2(b) or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a lengtho of 10.8 metres within the Lot as shown on Plan.
g. h. 7.	BTL Percentage Requirement for a Parapet Wall Permitted Encroachments	80% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Plinths or Piers for the Verandah and Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	2a - Verandahs, Eaves, Gatehouse, Porticos to define the principal entrance, Plinths or Piers for the Verandah, Steps.
		2b + 3 - Eaves, Shade Devices and Attached Fences.
•••••	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North and South)	2a - May encroach up to the Side Boundary for a width of 2.35 metres as depicted on the Plan.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requiren	nents
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Projecting Front, and a Double Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	House - 2 bays
	number of cars	Apartment House -
		1 bay/ 1 bedroom dwelling
		2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North or South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo	ove
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
••••	v. Side Elevation (North)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		 is Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collect	ion
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 420 LOT FRONTAGE 14m

114 Interior

Legend ,0011 30. 235Building Type 22.8m 30 Cottage С н House [25.53] Apartment House **113** T4 588m² HIAPT APT Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [25.16] Datum and Pad Level (refer Operative Provision No. 5) + 25.0 Spot Levels 13.9 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Setback (refer to Operative Provision No. 7) DIGRIS Build-to-line (BTL) (refer to Operative Provision No. 6) 1520m2 CH 129 Indicative Retaining Wall Locations Entry Steps - No Vehicular Access Indicative Services Area Principal Boundary 1 Side Boundary (North) 2a + 2b Side Boundary (South) 3 Rear Boundary Signage (No Stopping Areas) ↦ 10m 15m 20m 25m Scale 1:500

Lot 114 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 114. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.16 AHD

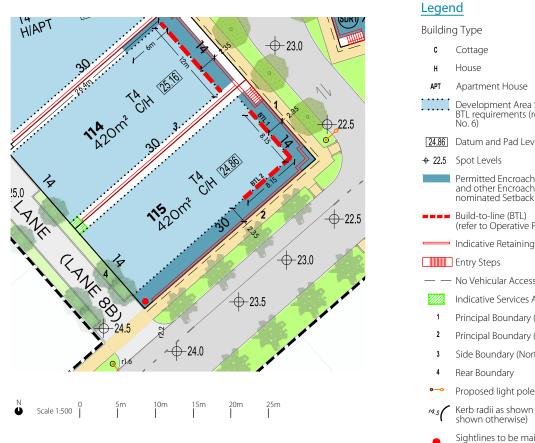
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
 b.	Secondary Setback Line	N/A
	••••••	•••••••••••••••••••••••••••••••••••••••
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot for a length of 26.4 metres measured from the Rear Boundary.
		A portion of one (1) Side Setback Line (North or South) may be located on the relevant Side
		Boundary for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) Side Setback Line (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 12.0 metres, measured 1.0 metre from the Side Boundary (South), as
g.	BTL Percentage	shown on the Plan. 80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted	2.35 metres measured from
	Encroachments may encroach into the Principal Setback	the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba	ck
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	2a - Verandahs, Eaves, Gatehouse, Porticos to define the principal entrance, Plinths or Piers for the Verandah, Steps.
		2b + 3 - Eaves, Shade Devices and Attached Fences.
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North and South)	2a - May encroach up to the Side Boundary as depicted on the Plan.
d.	Encroachments into Rear Setback.	N//A
8.	 Permitted Encroachments into Rear Setback Frontage/ Principal Elevation Requir 	N/A ements
о. а.	Required Private Frontage Type	Verandah.
а. b.	Permitted Private Frontage Type Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

9.	DESCRIPTION	REQUIREMENT
	Garaging, Parking and Vehicle Acco	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundar (North or South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil
•••••	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Window or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Sid Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from
		the Side Boundary, unless Screened.
• • • • • • •	vi. Side Elevation (South)	Screened. Restricted Outlook
	vi. Side Elevation (South)	Screened.
	vi. Side Elevation (South)	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side
	vi. Side Elevation (South)	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or
	vi. Side Elevation (South) Specific Design Requirement	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
<mark>12.</mark> a.		Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
-	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. No
a. 13.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. No No Storage for 2 bins provided withi the Lot and screened from public
a. 13. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. No Rection
a. 13. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. No No Storage for 2 bins provided withi the Lot and screened from public view
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No Storage for 2 bins provided withi the Lot and screened from public view Yes Refer - Private Realm Operative Provisions
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No Reter - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14. 15.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and coll Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No Storage for 2 bins provided withi the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Prov



LOT 115 T5 TRANSECT LOT TYPE Edge AREA (APPROX M²) 420 LOT FRONTAGE 14m

JINDEE



uildin	g Type
С	Cottage
н	House
APT	Apartment House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
24.86	Datum and Pad Level (refer Operative Provision No. 5)
22.5	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the nominated Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary (East)
2	Principal Boundary (South)
3	Side Boundary (North)
4	Rear Boundary
••	Proposed light pole location
4.5	Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)
•	Sightlines to be maintained as per Traffic Report (Uloth, December 2020

Lot 115 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 115. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.86 AHD

Jindee Local Development Plan No 5.0 for Release 2 (Modification 1) | Individual Lot Plans | July 2020, ©2020 Studio LFA + robertsday

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line (East)	Is parallel to and located 2.35 metres from the Principal Boundary (East)within the Lot.
b.	Principal Setback Line (South)	Is parallel to and located 2.35 metres from the Principal Boundary (South)within the Lot.
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary (East) within the Lot and extends from a point that is 3.5 metres from the northern boundary and extends for 8.15 metres in a south direction, as shown on the Plan.
		BTL 2) Is parallel to and located 235 metres from the Principal Boundary (South) within the Lot and extends for 8.15 metres measured from the Principal Setback Line (East).
g.	BTL Percentage	1) 90% minimum 2) 100%
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back (East)
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	1) 2.35 metres measured from the Principal Setback Line (East) for a length of 8.15 metres as shown on the Plan.
		2) 1.15 metres measured from the Principal Setback Line (East) adjacent to the stairs as shown on the Plan.
b.	Encroachments beyond Principal Set	back (South)
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line (South)
с.	Encroachments into Side Setback (North)	
	•••••••••••••••••••••••••••••••••••••••	•••••••••••••••••••••••••••••••••••••••
•••••	i. Permitted Encroachments into Side Setback	Eaves, Shade Devices and Attached Fences.
d.		

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requi	rements
a. b.	Required Private Frontage Type Permitted Principal Building	Verandah. Straight Front, a Projecting Front,
D.	Elevation Types	a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Projecting Front and a Double Verandah
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary East, Principal Boundary South, Side Boundary (North).
 d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	• N/A
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

