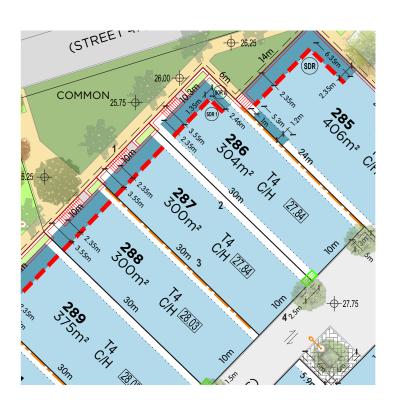


## LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 10.0)

LOT 287
TRANSECT 74
LOT TYPE Interior
AREA (APPROX M²) 299.5
LOT FRONTAGE 10m



## Legend

## Building Type

- c Cottage Type
- H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

27.84 Datum and Pad Level (refer Operative Provision No. 5)

+27.75 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

—-— Retaining Wall Type 2

— — No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (East)

3 Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 287 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 287. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## **Specific Requirements**

Scale 1:500

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	<b>Building Heights</b>	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metre
C.	Lot Datum (from which Building Height is measured)	27.84 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 9 metres measured from the Side Boundary (West) within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	75% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
• • • • • • •	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setb. i. Permitted Encroachments into	ack N/A
	Secondary Setback	•••••
C.	<ul><li>Encroachments into Side Setback</li><li>i. Permitted Encroachments into</li></ul>	Eaves, Shade Devices and Attached
	Side Setback (East)	Fences.
d.	Encroachments into Rear Setback.     Rermitted Encroachments into Rear Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.

10.	DESCRIPTION	REQUIREMENT
	Attached Fencing and Sideyard W	/alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
		Openings permitted.     Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side
		Boundary unless the Opening:
		Boundary unless the Opening: <ul><li>is a Celestial Window; or</li><li>is Screened; or</li></ul>
12.	Specific Design Requirement	Boundary unless the Opening:  • is a Celestial Window; or
<b>12.</b> a.	Specific Design Requirement  Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Boundary unless the Opening:     is a Celestial Window; or     is Screened; or
	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	Boundary unless the Opening:  is a Celestial Window; or  is Screened; or  is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Boundary unless the Opening:  is a Celestial Window; or  is Screened; or  is fitted with Opaque Glass.
a. 13.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co	Boundary unless the Opening:  is a Celestial Window; or  is Screened; or  is fitted with Opaque Glass.  No  Ilection  Storage for 3 bins provided within the Lot and screened from public
a. <b>13.</b> a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)  Refuse storage enclosures and co Required Bin Storage  Required Bin Collection Point Location (required by the City of	Boundary unless the Opening:  is a Celestial Window; or  is Screened; or  is fitted with Opaque Glass.  No  Storage for 3 bins provided within the Lot and screened from public view
a. a. b.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)  Refuse storage enclosures and co Required Bin Storage  Required Bin Collection Point Location (required by the City of Wanneroo)	Boundary unless the Opening:  is a Celestial Window; or  is Screened; or  is fitted with Opaque Glass.  No  Ilection  Storage for 3 bins provided within the Lot and screened from public view  N/A  Refer - Private Realm Operative
a.  13. a. b.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)  Refuse storage enclosures and co Required Bin Storage  Required Bin Collection Point Location (required by the City of Wanneroo)  Landscaping + Street Trees	Boundary unless the Opening:  is a Celestial Window; or  is Screened; or  is fitted with Opaque Glass.  No  Illection  Storage for 3 bins provided within the Lot and screened from public view  N/A  Refer - Private Realm Operative Provisions  Refer - Private Realm Operative
a.  13. a. b.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)  Refuse storage enclosures and co Required Bin Storage  Required Bin Collection Point Location (required by the City of Wanneroo)  Landscaping + Street Trees  External Fixtures  Design Outcomes – Additional	Boundary unless the Opening:  is a Celestial Window; or  is Screened; or  is fitted with Opaque Glass.  No  Ilection  Storage for 3 bins provided within the Lot and screened from public view  N/A  Refer - Private Realm Operative Provisions  Refer - Private Realm Operative Provisions  Refer - Private Realm Operative Provisions