



ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 9 metres measured from the Side Boundary (West) within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	75% minimum
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Attached Fencing and Sideyard Walling</b>	
a.	Type required	Attached Fence
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul>
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	<b>Refer - Private Realm Operative Provisions</b>
<b>15.</b>	<b>External Fixtures</b>	<b>Refer - Private Realm Operative Provisions</b>
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	<b>Refer - Private Realm Operative Provisions</b>
<b>17.</b>	<b>Exemptions to Planning Approval</b>	<b>Refer - Private Realm Operative Provisions</b>
<b>18.</b>	<b>No modification of building elements provided by Jindee Developer without Consent</b>	<b>Refer - Private Realm Operative Provisions</b>