

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT 430

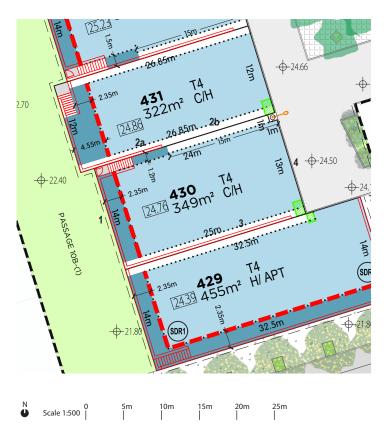
RELEASE 3 (North)

TRANSECT T4

LOT TYPE Interior

AREA (APPROX M²) 349

LOT FRONTAGE 14m



<u>Legend</u>

Building Type

Cottage

H House

(SDR)

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

24.76 Datum and Pad Level (refer Operative Provision No. 5)

♦24.50 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL)
(refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

Principal Boundary

2a + 2b Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

 $Lot \, 430 \, forms \, part \, of \, Local \, Development \, Plan \, (LDP) \, 2.0. \, The \, Private \, Realm \, Operative \, Provisions, together \, with the \, Individual \, Lot \, Plan \, ('ILP'), prescribe the specific design requirements applicable to the development of Lot \, 430. \, Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.$

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT	
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
С.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
с.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Types	Cottage, House	
C.	Lot Type Designation	Interior Lot	
d.	Permitted Building Dispositions	Edgeyard and Courtyard	
e.	Required Terrace Grouping	N/A	
d.	Permitted Building Dispositions	Edgeyard and Courtyard	

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by Yes - Retaining Wall as sho the Jindee Developer and, if so, on Plan what type?		
c.	Will the Lot Owner have to No provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)		
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum External Wall Height	7.5 metres	
С.	Lot Datum (from which Building Height is measured)	24.76 AHD	

Types Return Form the Side Boundary (North For Inters from the Principal Setaback Line within the Lot.) Principal Setaback Line within the Lot.	ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
into a Rear Setback . If the Portification of Control 2 is a parallel to and located 2 in Portification of P	6	Setbacks and Build-to-Lines				N/A
E. Side Setaod. Line (North) 2. Join parallel to and located 1.2 bit. Permitted Principal Setaod. Line (North) 2. Join parallel to and located 1.0 more from the Setaod of 2.2 bits parallel to and located 1.0 more from the Setaod Setaod. Line (North) 2. Join parallel to and located 1.0 more from the Setaod Setaod Line (North) for Alexandro of Setaod Setaod Line (North) for Join (North) for Joi	a.	Principal Setback Line	•		into a Rear Setback	
Comment Comm			the Lot.	8.		
Participation of the Side Senundary (North) for a legal of 6.56 measured from the Principal Seteats Line within the Lot.	b.	Secondary Setback Line	N/A	a.		• • • • • • • • • • • • • • • • • • • •
meters from the Side Boundary (North) for a length of 15 meters measured from the New Boundary whithin the Lot. A portion of the Side Sethack Lines (North) may be located on the relevant Side Boundary, for addisance the Rear Boundary whithin the Lot. Build national paradiag requirement for Mil A portion of the Side Sethack Lines (North) may be located on the relevant Side Boundary (South) whithin the Lot. Build national paradiag requirement for Mil Permitted Grange Disposition Rear Direct, Rear Side Side Build North In 1997 to Conting the Side Side Side Side Side Side Side Sid	c. Si	Side Setback Line (North)	metres from the Side Boundary (North) for a length of 6.65 measured from the Principal Setback Line	b.		Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
North for a length of 15 metes measured from the Rer Boundary within the Lot within the Lot. A portion of the Side Setback Lines (North) may be located on the relevant Selection under for side states with the Lot. In the Side Setback Lines (North) may be located in the relevant Selection under formation for the Side Setback Lines (North) may be located in the relevant Selection under formation (South) Side Setback Line (South) Signaled can and located 11 metes within the Lot. In the Lo			metres from the Side Boundary (North) for a length of 15 metres measured from the Rear Boundary within the Lot within the Lot.	9.	Garaging, Parking and Vehicle Access	
A portion of the Side Setback Lines (North) may be located on the of up to 15 meters measured from the Rear Boundary, Subt. A portion of the Side Setback Lines (North) may be located on the of up to 15 meters measured from the Rear Boundary (North) within the Lot. Description of the Side Setback (North) (No					number of cars	2
North may be located on the relevant following of up to 15 meters measured from the Rear Boundary of up to 15 meters measured from the Rear Boundary of up to 15 meters measured from the Rear Boundary of up to 15 meters measured from the Rear Boundary of up to 15 meters measured from the Rear Boundary of up to 15 meters from the Side Boundary Solution of the Rear Boundary of the Rear				b.		Nil
d. Side Settack Line (South) For Metal (Side Settack Line (South) For Metal (Side Southary (South) For Settack Line (STL) Location For Metal (Side Southary (South) For Settack Line (STL) Location For Settack Line (STL) Location Location (North) For Location (State Line Line Line Line Location (North) For Line (STL) L			(North) may be located on the relevant Side Boundary, for a distance of up to 15 metres measured from	C.		, , , , , , , , , , , , , , , , , , , ,
Side Setback Line (South) Sparallel to and located 1.0 metre from the Set Boundary (South)				d.		Rear Direct , Rear Side Stack, Rear
within the Lot. Real Setback Line Silocated on the Rear Boundary f. Build-to-Line (RTL) Location West is parallel to and located 2.35 metres from the Phincipal Boundary for a length of 1.3 metres measured 1 from from the Side Boundary (South) Real Privacy BTL Percentage BTL	d.	Side Setback Line (South)	•	10.	Fencing and Walling	buck court
## Build-to-Line (BTL) Location			•	a.	Type of fencing required	Attached
metres from the Principal Boundary for a length of 11.5 metres measured 1.0 m from the Side Boundary (South) from within the Lot g. BTL Percentage	e.	Rear Setback Line	Is located on the Rear Boundary	11.	Privacy	
for a length of 1.5 metres measured 1.0 min the Side Boundary (South) from within the Lot. g. BTL Percentage Otherwinium h. Requirement for a Parapet Wall N/A 7. Permitted Encroachments a. Encroachments in Principal Setback i. Permitted Encroachments B. Extent to which Permitted Encroachments into Secondary Setback ii. Extent to which Permitted Encroachments into Secondary Setback ii. Extent to which Permitted Encroachments into Secondary Setback ii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to	f.	Build-to-Line (BTL) Location		a.	Privacy Restrictions on 1st floor and a	bove
g. BTL Percentage SOPs minimum. BTL Percentage SOPs sopport					i. Principal Elevation	Nil
Permitted Encroachments into Principal Setback Principal Setba						Nil
setback Zm from Side Encroachments in Principal Setback Encroachments in Principal Setback L Permitted Encroachments in Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers of the Verandah, Steps, Towers, a Terminating Vista Element Encroachments in Secondary Setback Encroachments in Secondary Setback	g.	BTL Percentage	80% minimum.		iii. Rear elevation internal to a Lot	Openings (other than Balconies,
i. Permitted Encroachments into Principal Setback Devices, Projecting Fronts, Bay Windows, Portic to define the principal Extent to which Permitted Encroachments into Secondary Setback Devices, Projecting Fronts, Bay Windows, Portic or the Secondary Setback (North) Side Setback (No	7.	Permitted Encroachments	N/A			Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or
ii. Extent to which Permitted Encroachments may encroach into the Principal Setback b. Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback ii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Secondary Setback iii. Extent to which Permitted Encroachments into Side Setback (North) ii. Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback (North) ii. Permitted Encroachments into Side Setback (North) iii. Extent it owhich Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (North) iii. Extent to which Permitted Encroachments into Side Setback (South) iii. Extent to which Permitted Encroachments into Side Setback (South) iii. Extent to which Permitted Encroachments into Side Setback (South) iii. Extent to which Permitted Encroachments into Side Setback (South) iii. Extent to which Permitted Encroachments into Side Setback (South) iii. Extent to which Permitted Encroachments into Side Setback (South) iii. Extent to which Permitted Encroachments into Side Setback (South) iii. Extent to which Permitted Encroachments	• • • • • • • • • • • • • • • • • • • •	i. Permitted Encroachments into	Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers			 opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
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i. Permitted Encroachments into Side Setback (North) Size Extent to which Permitted Encroachments may encroach into a Side Setback (South) Side Setback	C.					
Side Setback (North) Shade Devices, Projecting Fronts, Bay Windows, Portico to define the Permitted For the Verandah, Steps, Towers, a Terminating Vista Element 2b. Eaves, Shade Devices and Attached Walls ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North) d. Encroachments into Side Setback ii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) d. Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) iii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) Restricted by the BCA and the toler- ances of any retaining walls. iii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) Restricted by the BCA and the toler- ances of any retaining walls. iii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) Restricted by the BCA and the toler- ances of any retaining walls. 15. External Fixtures Refer - Private Realm Ope Provisions 16. Design Outcomes - Additional Requirements - Controls Requirements - Controls Refer - Private Realm Ope Provisions 17. Exemptions to Planning Approval Refer - Private Realm Ope	••••••	i. Permitted Encroachments into	2a. Verandahs, Balconies, Eaves,			 is a Celestial Window; or
2. Specific Design Requirement			Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element 2b. Eaves, Shade Devices and			• is Screened; or
Terminating Vista Element 2b. Eaves, Shade Devices and Attached Walls ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North) d. Encroachments into Side Setback i. Permitted Encroachments into Side Setback ii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) Eaves, Shade Devices and Attached Walls iii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) Eaves, Shade Devices and Attached Encroachments may encroach into a Side Setback (South) Eaves, Shade Devices and Attached Encroachments may encroach into a Side Setback (South) Eaves, Shade Devices and Attached Encroachments may encroach into a Side Setback (South) Eaves, Shade Devices and Attached Encroachments may encroach into a Side Setback (South) Eaves, Shade Devices and Attached Encroachments may encroach into a Side Setback (South) Eaves, Shade Devices and Attached Encroachments may encroach into a Side Setback (South) Eaves, Shade Devices and Attached Walls Eaves, Shade Devices and Attached Walls Eaves, Shade Devices and Attached Beautiful Bin Storage Storage enclosures and collection a. Required Bin Storage Storage enclosures and collection b. Required Bin Storage Storage for 2 bins provide the Lot and screened from view Yes 14. Landscaping + Street Trees Refer - Private Realm Ope Provisions 15. External Fixtures Refer - Private Realm Ope Provisions 16. Design Outcomes – Additional Requirements + Controls Refer - Private Realm Ope Provisions 17. Exemptions to Planning Approval				12	Specific Design Requirement	• is fitted with Opaque Glass.
Attached Walls iii. Extent to which Permitted Encroachments may encroach into a Side Setback (North) d. Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South) ii. Extent to which Permitted Encroachments into Side Setback (South) d. Encroachments into Side Setback iii. Extent to which Permitted Encroachments into Side Setback iii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) Extent to which Permitted Encroachments may encroach into a Side Setback (South) Extent to which Permitted Encroachments may encroach into a Side Setback (South) Encroachments into Rear Setback. Encroachments into Rear Setback. Attached Walls 2a. 1.2 metres measured from the Side Setback (Ine (North) 2a, as shown on the Plan, excluding the stair and landing area. 2b. Restricted by the BCA and the tolerances of any retaining walls. Eaves, Shade Devices and Attached Walls 15. External Fixtures Refer - Private Realm Ope Provisions 16. Design Outcomes – Additional Requirements + Controls Requirements + Controls Refer - Private Realm Ope Provisions 17. Exemptions to Planning Approval Refer - Private Realm Ope					Is there a Specific Design	N/A
ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North) 2a. 1.2 metres measured from the Side Setback Line (North) 2a, as shown on the Plan, excluding the stair and landing area. 2b. Restricted by the BCA and the tolerances of any retaining walls d. Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South) ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) Extent to which Permitted Encroachments may encroach into a Side Setback (South) e. Encroachments into Rear Setback. 11. Exemptions to Planning Approval a. Required Bin Storage b. Required Bin Collection Point Location (required by the City of Wanneroo) 14. Landscaping + Street Trees Refer - Private Realm Ope Provisions 15. External Fixtures Refer - Private Realm Ope Provisions 16. Design Outcomes - Additional Requirements + Controls Refer - Private Realm Ope Provisions 17. Exemptions to Planning Approval Refer - Private Realm Ope				10		tion
into a Side Setback (North) shown on the Plan, excluding the stair and landing area. 2b. Restricted by the BCA and the tolerances of any retaining walls i. Permitted Encroachments into Side Setback (South) ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) e. Encroachments into Rear Setback. Side Setback (South) shown on the Plan, excluding the stair and landing area. 2b. Restricted by the BCA and the tolerances of any retaining walls b. Required Bin Collection Point Location (required by the City of Wanneroo) 14. Landscaping + Street Trees Refer - Private Realm Ope Provisions 15. External Fixtures Refer - Private Realm Ope Provisions 16. Design Outcomes - Additional Refer - Private Realm Ope Provisions 17. Exemptions to Planning Approval Refer - Private Realm Ope	•••••	Encroachments may encroach into a Side Setback (North)	Side Setback Line (North) 2a, as shown on the Plan, excluding the stair and landing area. 2b. Restricted by the BCA and the tolerances of any retaining walls		_	
2b. Restricted by the BCA and the tolerances of any retaining walls d. Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South) ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) e. Encroachments into Rear Setback. 2b. Restricted by the BCA and the tolerances of any retaining walls Eaves, Shade Devices and Attached Walls Eaves, Shade Devices and Attached Walls 15. External Fixtures Refer - Private Realm Ope Provisions Refer - Private Realm Ope Provisions 16. Design Outcomes - Additional Refer - Private Realm Ope Provisions 17. Exemptions to Planning Approval Refer - Private Realm Ope Provisions				a.	nequired bill Storage	the Lot and screened from public
i. Permitted Encroachments into Side Setback (South) ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) e. Encroachments into Rear Setback. 14. Landscaping + Street Irees Refer - Private Realm Ope Provisions 15. External Fixtures Refer - Private Realm Ope Provisions 16. Design Outcomes – Additional Requirements + Controls Provisions 17. Exemptions to Planning Approval Refer - Private Realm Ope Provisions				b.	Location (required by the City of	Yes
ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South) e. Encroachments into Rear Setback. 15. External Fixtures Refer - Private Realm Ope Provisions 16. Design Outcomes – Additional Requirements + Controls Provisions 17. Exemptions to Planning Approval Refer - Private Realm Ope Provisions	• • • • • • • • • •		Eaves, Shade Devices and Attached	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
Encroachments may encroach into a Side Setback (South) e. Encroachments into Rear Setback. 16. Design Outcomes – Additional Refer - Private Realm Ope Provisions 17. Exemptions to Planning Approval Refer - Private Realm Ope Provisions				15.	External Fixtures	Refer - Private Realm Operative Provisions
e. Encroachments into Rear Setback. 17. Exemptions to Planning Approval Refer - Private Realm Ope		Encroachments may encroach	•	16.		Refer - Private Realm Operative
I Permitted Encroachments into N/A	• • • • • • • • •	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A	17.	·	Refer - Private Realm Operative Provisions
Rear Sethack				18.	elements provided by Jindee	Refer - Private Realm Operative