

## LOCAL DEVELOPMENT PLAN 5.0 RELEASE 2 -INDIVIDUAL LOT PLAN (LDP No. 5.0)

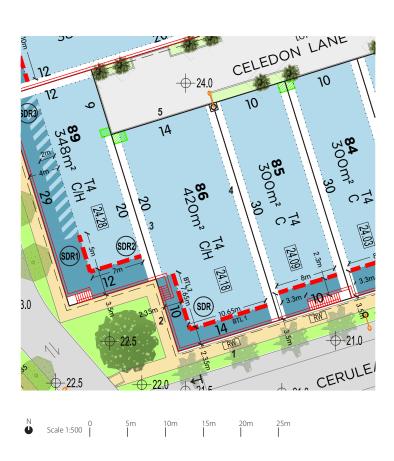
LOT 86

TRANSECT 14

LOT TYPE Corner

AREA (APPROX M²) 420

LOT FRONTAGE 14m



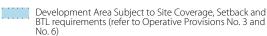
## Legend

## **Building Type**

- **C**Ottage
- H House



Specific Design Requirements (refer to Operative Provision No.12)



24.18 Datum and Pad Level (refer Operative Provision No. 5)

+ 24.0 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the nominated Setback area (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Required Sideyard Wall (refer to Operative Provision No. 10)

Indicative Retaining Wall Locations

Entry Steps

RW Retaining Wall over 3.0m in height

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Secondary Boundary (West)

3 Side Boundary (West)

4 Side Boundary (East)

Rear Boundary

Lot 86 forms part of Local Development Plan (LDP) 5.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 86. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## **Specific Requirements**

ITEM	DESCRIPTION	REQUIREMENT		
1	Site Works			
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions		
b.	Stormwater Management	Refer - Private Realm Operative Provisions		
C.	Retaining Walls	Refer - Private Realm Operative Provisions		
2	Number of Dwellings on Lot			
a.	Maximum Number of Single Residential Dwellings	One (1)		
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A		
С.	Ancillary Unit Permitted			
3	Dwelling Controls			
a.	Maximum Lot Coverage	75%		
b.	Permitted Building Types	Cottage, House		
C.	Lot Type Designation	Corner Lot		
d.	Permitted Building Dispositions	Edgeyard, Courtyard		
e.	Required Terrace Grouping	N/A		

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft.	
b.	Maximum External Wall Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	24.18 AHD	

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT	
6	Setbacks and Build-to-Lines			Frontage/ Principal Elevation Requirements		
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.	a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front	
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary and extends for a length of 7.65m measured from the Principal Setback Line, within the Lot as shown on the Plan.	9.	Garaging, Parking and Vehicle Access	and a Return Verandah, a Double Return Verandah.	
			a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.  A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
			C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West)	
			d. 10.	Permitted Garage Disposition Attached Fencing and Sideyard Walling	Rear Direct , Rear Side Stack. g	
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within	a. 11.	Type required  Privacy	Attached Fence	
		the Lot.  A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear	a	Privacy Restrictions on 1st floor and abo i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil Nil	
e.	Rear Setback Line	Boundary.  Is located on the Rear Boundary. within the Lot.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or	
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.65 metres, within the Lot as shown on Plan, and		<ul> <li>opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>		
		BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 7.65 metres measured form the Principal Setback Line, within the Lot as shown on Plan.		iv. Secondary Elevation v. Side Elevation (East)	Nil Open Outlook.	
g. h.	BTL Percentage  Required Parapet Wall Location  Permitted Encroachments	1) 80% minimum 2) 100% N/A			<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless</li> </ul>	
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any		Screened.  vi. Side Elevation (West) Restricted Outlook  Openings to be setback a minimun		
	Encroachments in Principal Setback	retaining walls.			of 4.5m from the Side Boundary unless the Opening:	
a.	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the			<ul><li>is a Celestial Window; or</li><li>is Screened; or</li><li>is fitted with Opaque Glass.</li></ul>	
		principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a	12.	Specific Design Requirement		
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	Terminating Vista Element.  2.35 metres measured from the Principal Setback Line.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment - a Verandah or Terrace with a Pergola attached to the retaining wall on the Secondary Boundary. The width of the Verandah fronting the Secondary Elevation is to	
b.	Encroachments into Secondary Setback  i. Permitted Encroachments into	Verandahs, Pergola, Balconies,			match the width of the Verandah on the Principal Elevation.	
	Secondary Setback.	Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a	13.	Refuse storage enclosures and collecti		
			a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view	
i	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	Terminating Vista Element.  2.35 metres measured from the Secondary Setback Line. Encroachment is permitted to extend	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
			14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
		over the entry stairs and bottom landing.	15.	External Fixtures	Refer - Private Realm Operative Provisions	
C	Encroachments into Side Setback i. Permitted Encroachments into	Eaves, Shade Devices and Attached	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
d.	Side Setback (East and West)  Encroachments into Rear Setback.	Fences.	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
	i. Permitted Encroachments into Rear Setback	N/A	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	