



Legend

Building Type

- C** Cottage
- H** House
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Dotted Area]** Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [Yellow Line]** Required Sideyard Wall (refer to Operative Provision No. 10)
- [24.97]** Datum and Pad Level (refer Operative Provision No. 5)
- ±24.61** Spot Levels
- [Blue Area]** Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [Red Double Line]** Indicative Retaining Wall Locations
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1a, 1b + 1c** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3a + 3b** Side Boundary (North)
- 4** Rear Boundary
- [Orange Circle]** Proposed light pole location
- [Yellow Arrow]** Sideyard Entry



Lot 127 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 127. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Sideyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah and Sideyard Wall
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.18 AHD / Garage 24.97 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a. Is parallel to and located 1.3 metres from the Principal Boundary for a length of 6.5 metres measured from the Secondary Setback Line. 1b. Is parallel to and located 10 metres from the Principal Boundary for a length of 2.35 metres measured from the Secondary Boundary. 1c. Is parallel to and located 10 metres from the Principal Boundary for a length of 5.1 metres measured from the Side Setback Line (North).
b.	Secondary Setback Line (South)	2a. Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a length of 8.7 metres measured from the Principal Setback Line. 2b. Is located on the Secondary Boundary for a length of 20 metres measured from the Rear Boundary.
c.	Side Setback Line (North)	3a. Is parallel to and located 5.1 metres from the Side Boundary (North) within the Lot, for a distance of 8.7 metres measured from the Principal Setback Line. 3b. Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Rear Setback Line	Is located on the Rear Boundary
e.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 1.3 metres from the Principal Boundary for a length of 6.5 metres measured 2.35 metres from the Secondary Boundary within the Lot; and BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 8.7 metres measured from the Principal Setback Line.
f.	BTL Percentage	BTL 1. 100% BTL 2. 80% minimum.
g.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Shade Devices, Steps
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	0.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Required Verandah. Portico permitted to define the entry. Verandah required to at least 60% of the Secondary elevation with landscaping required to the remaining Principal Setback.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	3a. Pergola, Eaves, Attached Fences. 3b. Eaves and Shade Devices.

ITEM	DESCRIPTION	REQUIREMENT
ii.	Extent to which Permitted Encroachments may encroach into the Side Setback (North)	3a. 4.1 metres measured from the Side Setback Line (North) and 6.5 metres from the Principal Setback Line located 10m from the Principal Boundary within the Lot. 3b. Restricted by the BCA and tolerances of any retaining walls.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Stoop
b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard Walling	
a.	Type of Fencing required	Sideyard Wall
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North 3a + 3b)	Open Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Required Gable End along BTL 1.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jndee Developer without Consent	Refer - Private Realm Operative Provisions