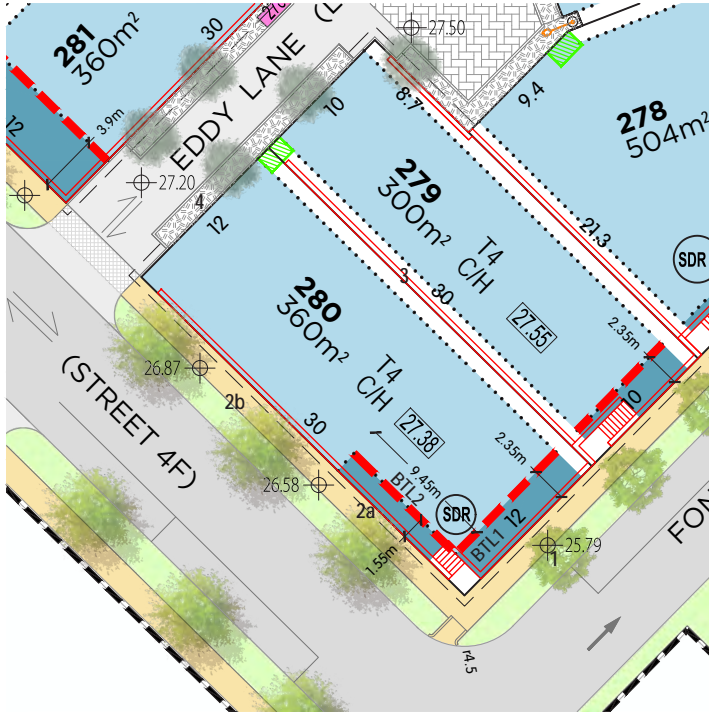


# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

LOT	280
RELEASE	3 (South)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M <sup>2</sup> )	360
LOT FRONTAGE	12 metres



## Legend

### Building Type

- C** Cottage
- H** House
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Box]** Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [27.38]** Datum and Pad Level (refer Operative Provision No. 5)
- ±27.20** Spot Levels
- [Blue Box]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [Red Line]** Indicative Retaining Wall Locations
- [Red Hatched Box]** Entry Steps
- [Grey Line]** No Vehicular Access
- [Green Hatched Box]** Indicative Services Area
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3** Side Boundary
- 4** Rear Boundary
- [Arrow]** Signage (No Stopping Areas)

Lot 280 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 280. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	27.38 AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a distance of 9.45 metres measured from the Side Setback Line (North).
b.	Secondary Setback Line	2a is parallel to and located 1.55 metres from the Secondary Boundary within the Lot for a distance of 9.45 metres measured from the Principal Setback Line.  2b is located on the Secondary Boundary for a distance of 18.2 metres measured from the Rear Boundary.
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.  A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a distance of 9.45 metres measured from the Side Setback Line (North).  BTL 2) Is parallel to and located 1.55 metres from the Secondary Boundary 2a for a distance of 9.45 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1. 80% minimum  BTL 2. 100% minimum
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments beyond Secondary Setback	
i.	Permitted Encroachments beyond the Secondary Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2a. 1.55 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted.  2b. N/A
c.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
ii.	Extent to which Permitted Encroachments may encroach into the Side Setback (North)	Restricted by the BCA and tolerances of any retaining walls.

ITEM	DESCRIPTION	REQUIREMENT
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Double Verandah
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary South, Side Boundary (North).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
<b>10.</b>	<b>Attached Fencing and Sideyard Walling</b>	
a.	Type required	Attached Fence
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (South)	• N/A
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment - Double Verandah.
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	<b>Refer - Private Realm Operative Provisions</b>
<b>15.</b>	<b>External Fixtures</b>	<b>Refer - Private Realm Operative Provisions</b>
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	<b>Refer - Private Realm Operative Provisions</b>
<b>17.</b>	<b>Exemptions to Planning Approval</b>	<b>Refer - Private Realm Operative Provisions</b>
<b>18.</b>	<b>No modification of building elements provided by Jindee Developer without Consent</b>	<b>Refer - Private Realm Operative Provisions</b>